

**GENERAL NOTES**

- THE PROPOSED USE IS RETAIL SALES.
- THE PROPERTY SHOWN HEREON IS CURRENTLY OWNED BY:  
 BETTY J SCARBOROUGH  
 203 COULBOURNE LANE  
 SNOW HILL, MD 21863
- THE PROPERTY SHOWN HEREON IS BEING PURCHASED AND DEVELOPED BY:  
 OXFORD CHASE DEVELOPMENT INC.  
 C/O HOWARD CROSSAN  
 114 FRONT STREET  
 POCOMOKE CITY, MARYLAND, 21853  
 PHONE: 410-957-4005  
 EMAIL: HOWARD@OXFORDCHASE.NET
- TOTAL AREA: 2.789 +/- ACRES
  - MAP 201 GRID 17 PARCEL 513  
DEED REF: 8480/27
  - MAP 201 GRID 24 PARCEL 513  
DEED REF: 8480/20
  - PRESENT ZONING: B-2 GENERAL COMMERCIAL (TOWN OF SNOW HILL)  
THE PROPOSED USE IS RETAIL SALES.
  - THIS PROPERTY IS SHOWN ON F.I.R.M. COMMUNITY PANEL #24047C0242H (PANEL 242 OF 500), DATED 7/16/2015, AS BEING IN FLOOD ZONE X, AREA OF MINIMAL FLOODING.
  - SURVEY PERFORMED BY PARKER AND ASSOCIATES ON 11/13/2023
  - CONTRACTOR TO VERIFY ALL ELEVATIONS LISTED ON THE PLAN WITH A MINIMUM OF THREE BENCHMARKS THAT ARE ON THIS PROJECT'S UTILIZED DATUM PRIOR TO COMMENCING ANY CONSTRUCTION. IF ANY LOCATIONS OR ELEVATIONS OF BENCHMARKS, EXISTING FACILITIES, OR STRUCTURES DIFFER FROM THAT SHOWN HERE ON, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AT 410-749-1023.
  - THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHTS-OF-WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.
  - THIS PROJECT IS INTENDED TO BE SERVED BY PUBLIC SEWER, PUBLIC WATER, AND PRIVATE TRASH COLLECTION.
  - ALL PROPOSED GRADING AND CONSTRUCTION SHOWN ON THESE PLANS SHALL TIE INTO EXISTING GRADES WITHIN THE LIMIT OF DISTURBANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT TIE IN GRADES, ELEVATIONS AND SLOPES MATCH EXISTING CONDITIONS AND ARE ACCEPTABLE. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
  - PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL GRASS CUTTING WITHIN THE PUBLIC RIGHT OF WAY AND OR EASEMENTS ALONG THE FRONTAGE OF OR THROUGH THEIR PROPERTY. THE MAINTENANCE OF ALL LANDSCAPE MEDANS OR ISLANDS LOCATED INSIDE OF CITY OF SNOW HILL RIGHT OF WAY IS THE RESPONSIBILITY OF THE LOT OWNERS. THE MAINTENANCE OF ALL DRAINAGE FACILITIES LOCATED LOCATED OUTSIDE THE CITY OF SNOW HILL RIGHT OF WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNERS.
  - THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED BETWEEN THE DRAWING AND EXISTING CONDITIONS. ERRORS OR OMISSIONS IN DRAWINGS OR LAYOUT SHALL BE TREATED AS A DISCREPANCY. ALL DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONTINUATION OF WORK.
  - IN THE EVENT THAT AN ERROR, OVERSIGHT, OR OMISSION BY PARKER & ASSOCIATES IS DISCOVERED OR SHOULD HAVE REASONABLY BEEN DISCOVERED DURING THE COURSE OF CONSTRUCTION; CLIENTS OR CONTRACTORS SHALL PROVIDE PARKER AND ASSOCIATES AN IMMEDIATE NOTICE IN ORDER TO PROVIDE THE OPPORTUNITY TO IMPLEMENT AN ACCEPTABLE SOLUTION TO REMEDY OR MINIMIZE THE IMPACTS OF THE DISCOVERED ISSUE. IF IMMEDIATE NOTICE IS NOT PROVIDED BY CLIENT OR CONTRACTOR TO PARKER AND ASSOCIATES, THE CLIENT OR CONTRACTOR SHALL RELIEVE PARKER AND ASSOCIATES OF ANY LIABILITY THAT MAY ARISE FROM SAID ERROR, OVERSIGHT, OR OMISSION.
  - VERTICAL DATUM IS BASED ON NAVD83.
  - THIS PROJECT SITE IS NOT LOCATED WITHIN THE CRITICAL AREAS.
  - THERE ARE NO WETLANDS LOCATED WITHIN THE PROJECT SITE.
  - THIS SITE WILL INCLUDE TWO FOREST CONSERVATION AREAS.

**MINIMUM REQUIRED**

ZONE: B-2 GENERAL BUSINESS

MINIMUM LOT AREA = 6,000 FT<sup>2</sup>

MINIMUM INTERIOR LOT WIDTH = 60'

MINIMUM SETBACKS:  
 FRONT: 25' FROM PROPERTY LINE  
 SIDE: 10' FROM PROPERTY LINE  
 REAR: 20' FROM PROPERTY LINE

MAXIMUM BUILDING HEIGHT: 40'

**LAND USE SUMMARY**

TOTAL AREA OF PROPERTY = 2.789± AC  
 TOTAL AREA OF BUILDING = 12,708 SF  
 TOTAL AREA OF PAVING = 24,182 SF  
 TOTAL AREA OF NEW CONCRETE = 3,480 SF  
 TOTAL AREA OF IMPERVIOUS SURFACE = 40,370 SF  
 SITE IMPERVIOUS = 33.23 %

LIMIT OF DISTURBANCE INCLUDING OFFSITE = 2.52 AC

**PARKING TABULATION**

RETAIL SALES  
 3.5 SPACES PROVIDED PER 1000 FT<sup>2</sup> (MIN. 2 HANDICAPPED SPACES REQUIRED)  
 (12,708 FT<sup>2</sup> / 1000 FT<sup>2</sup>) \* 3.5 = 45 SPACES REQ'D  
 TOTAL SPACES PROVIDED = 50 SPACES (OF WHICH 4 ARE HANDICAPPED)

**ESTIMATED WATER & SEWER USAGE**

CALCULATIONS BASED MDE SEWER GUIDELINES - COMAR 26.04.02.05 M

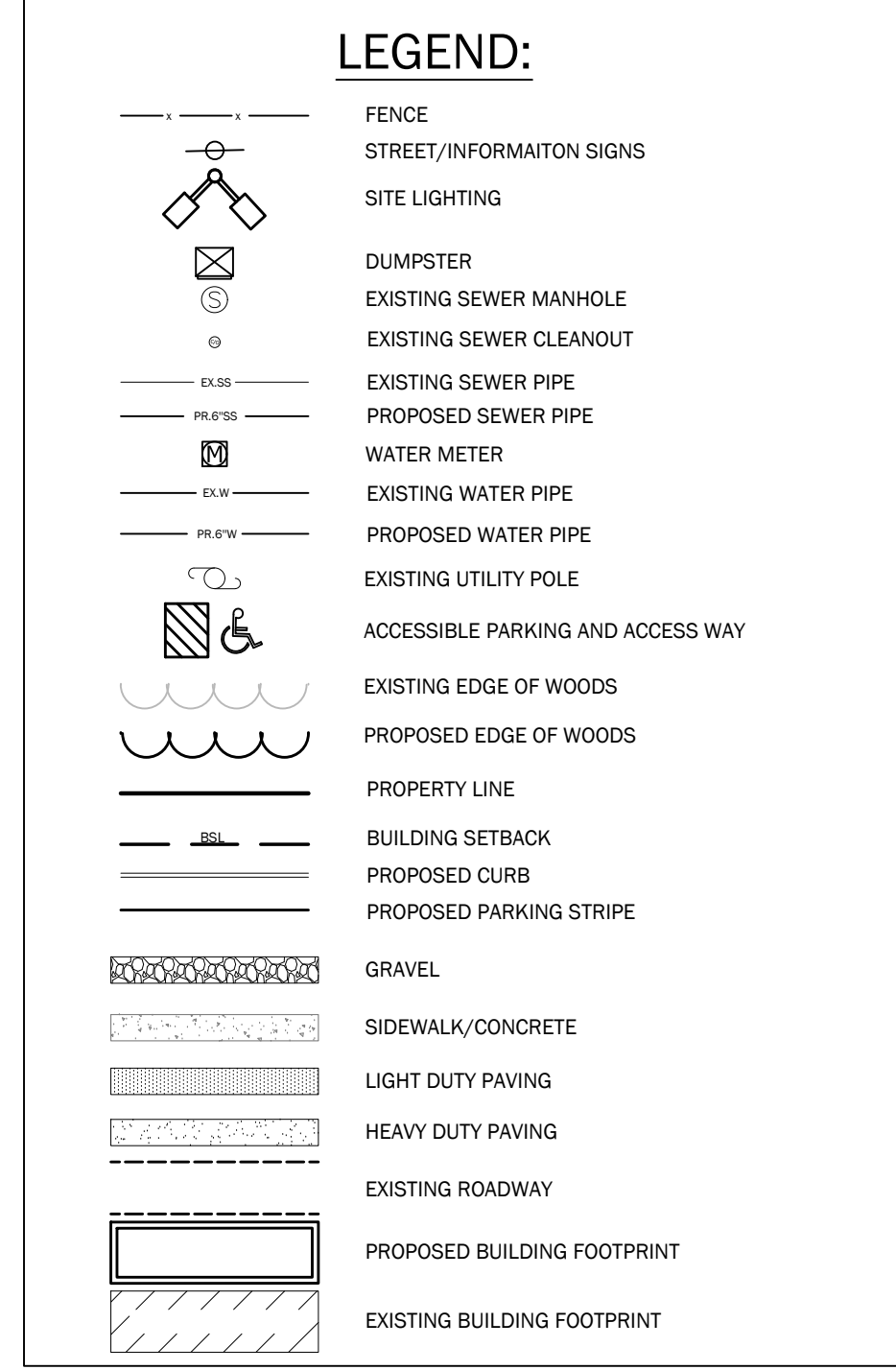
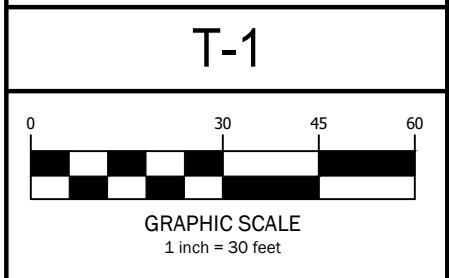
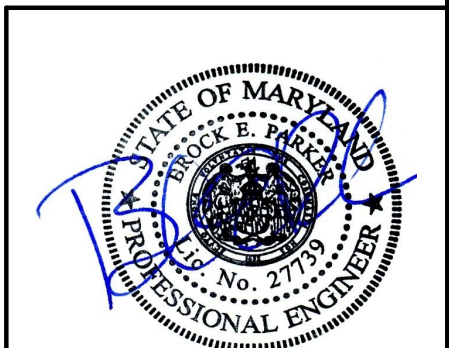
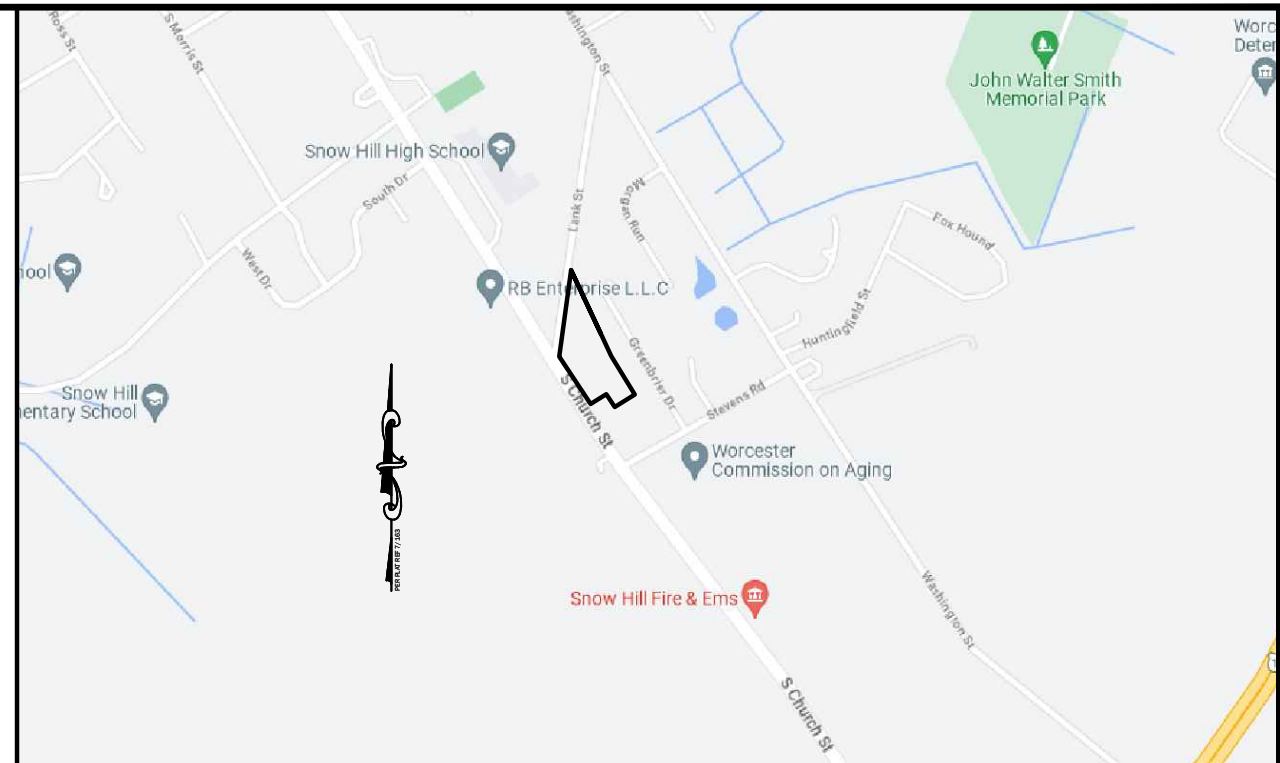
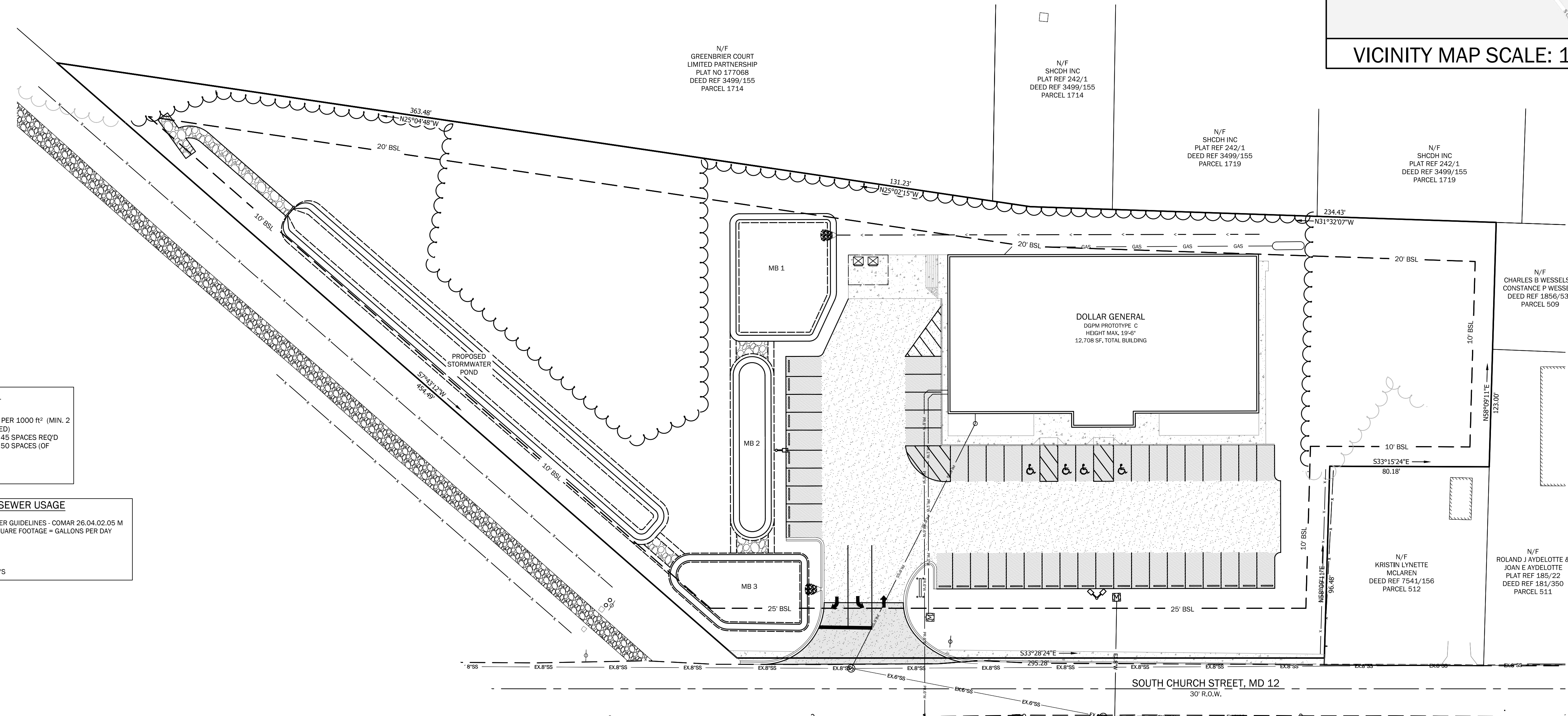
RETAIL STORE = 0.05 X TOTAL SQUARE FOOTAGE = GALLONS PER DAY  
 1 EDU = 250 GPD

12,708 SF X 0.05 = 635.4 GPD  
 635.4 GPD/250 GPD = 2.54 EDUS

# DOLLAR GENERAL

## TOWN OF SNOW HILL

### PRELIMINARY DEVELOPMENT PLAN



**Sheet Index**

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SP-2	SITE DETAILS
ESC-1	ESC PLAN
GP-1	GRADING PLAN
GP-2	SWM DETAILS
UP-1	UTILITY PLAN
UP-2	UTILITY DETAILS
LP-1	LANDSCAPING LIGHTING PLAN
DA-1	PRE DEV DRAINAGE AREA
DA-2	POST DEV DRAINAGE AREA

**PLAN APPROVED BY TOWN OF SNOW HILL HEALTH DEPARTMENT**

By: \_\_\_\_\_  
 Date: \_\_\_\_\_

**PLAN APPROVED BY TOWN OF SNOW HILL PLANNING AND ZONING COMMISSION CHAIRMAN**

By: \_\_\_\_\_  
 Date: \_\_\_\_\_

**OWNER'S CERTIFICATION**

I certify that I am the owner of the property listed herein and that these plans are being created and reviewed with my knowledge and approval.

OWNER:  
 BETTY J SCARBOROUGH  
 203 COULBOURNE LANE  
 SNOW HILL, MD 21863

DATE: \_\_\_\_\_

**DEVELOPER'S CERTIFICATION**

Certification by the developer that any clearing, grading, construction, or development will be done pursuant to this plan and that the responsible personnel involved in the construction project will have a certification of training at a department approved training program for the control of sediment and erosion before beginning the project.

DEVELOPER: *Howard Crossan* DATE: *12/6/23*  
 OXFORD CHASE DEVELOPMENT INC.  
 114 Front Street  
 Pocomoke City, Maryland 21853  
 410-957-4005  
 Email: Howard@oxfordchase.net

**PROFESSIONAL CERTIFICATION**

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed civil engineer under the laws of the State of Maryland, License No. 27739. Expiration Date: July 24, 2024.

*Brock E. Parker* DATE: *12/6/23*  
 Brock E. Parker P.E., R.L.S.  
 528 Riverside Drive  
 Salisbury, Maryland 21801  
 office: (410) 749-1023 fax: (410) 749-1012  
 email: brock@parkerandassociates.org

**TITLE SHEET**  
**DOLLAR GENERAL**  
 Road Name: SOUTH CHURCH STREET  
 For: OXFORD CHASE DEVELOPMENT  
 SNOW HILL, MARYLAND

DATE: 12/05/23  
 DRAWN BY: WLK  
 CHECKED BY: \_\_\_\_\_  
 SCALE: 1" = 30'  
 SHEET NO. 15 TITLE SHEET  
 SHEET 513

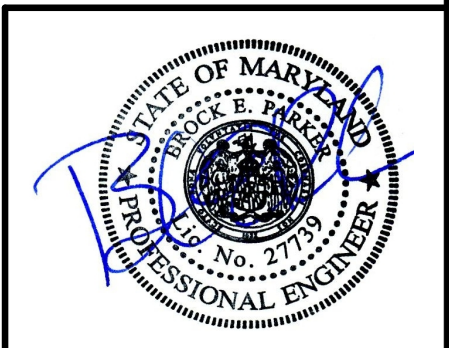
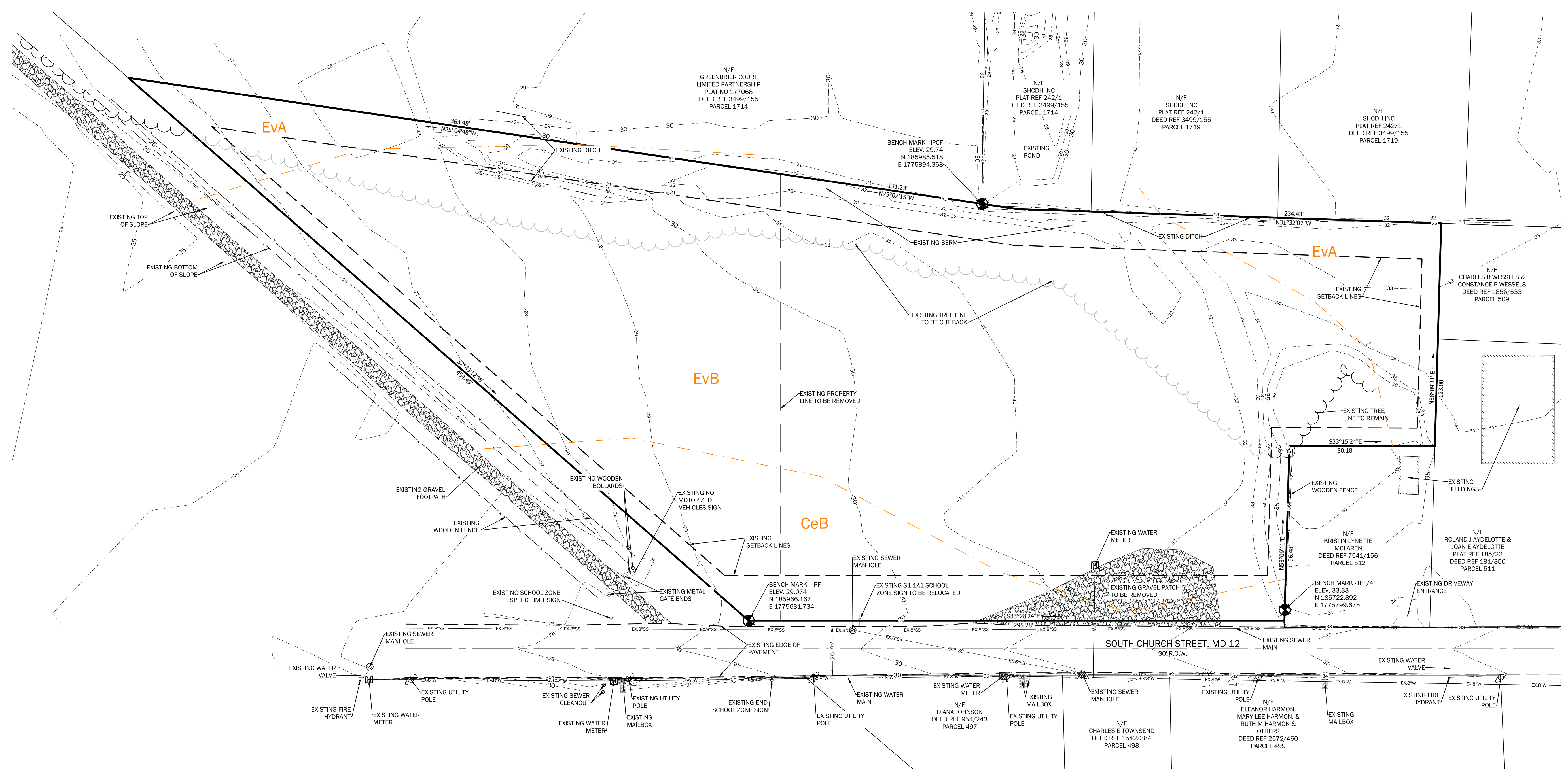
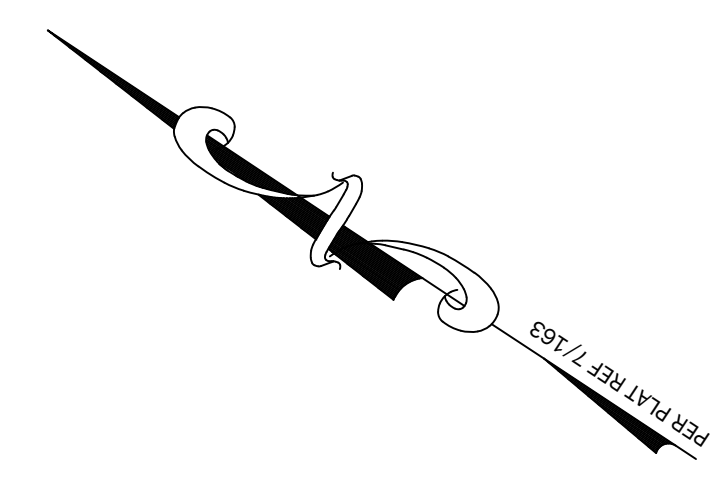
**PARKER & ASSOCIATES**  
 CIVIL ENGINEERING & ARCHITECTURE  
 528 RIVERSIDE DRIVE  
 SALISBURY, MD 21801  
 (410) 749-1023

All phases of stormwater management calculations, structure design and construction will adhere to current Maryland standards and specifications for stormwater management and the stormwater management plan for this site.

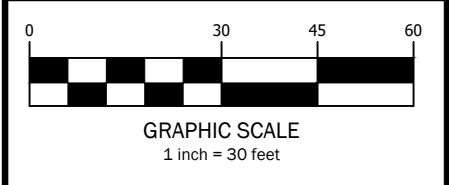
All information set forth in the plan accurately conveys this site's conditions to the best of my knowledge.

All structural devices for stormwater management will be protected by proper soil erosion and sediment control devices until all contributing areas have passed final stabilization inspection. Upon completion of the project, an as-constructed survey, Notice of Construction Completion (NOCC), and letter of certification must be submitted to the department, except individual single family dwellings. Once review is complete and approved, a certificate of occupancy can be issued.

*Howard Crossan* DATE: *12/6/23*  
 OXFORD CHASE DEVELOPMENT INC.  
 114 Front Street  
 Pocomoke City, Maryland 21853  
 410-957-4005  
 Email: Howard@oxfordchase.net



EX-1



REVISIONS	DATE	BY	CHK

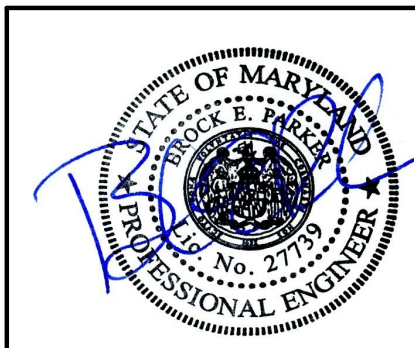
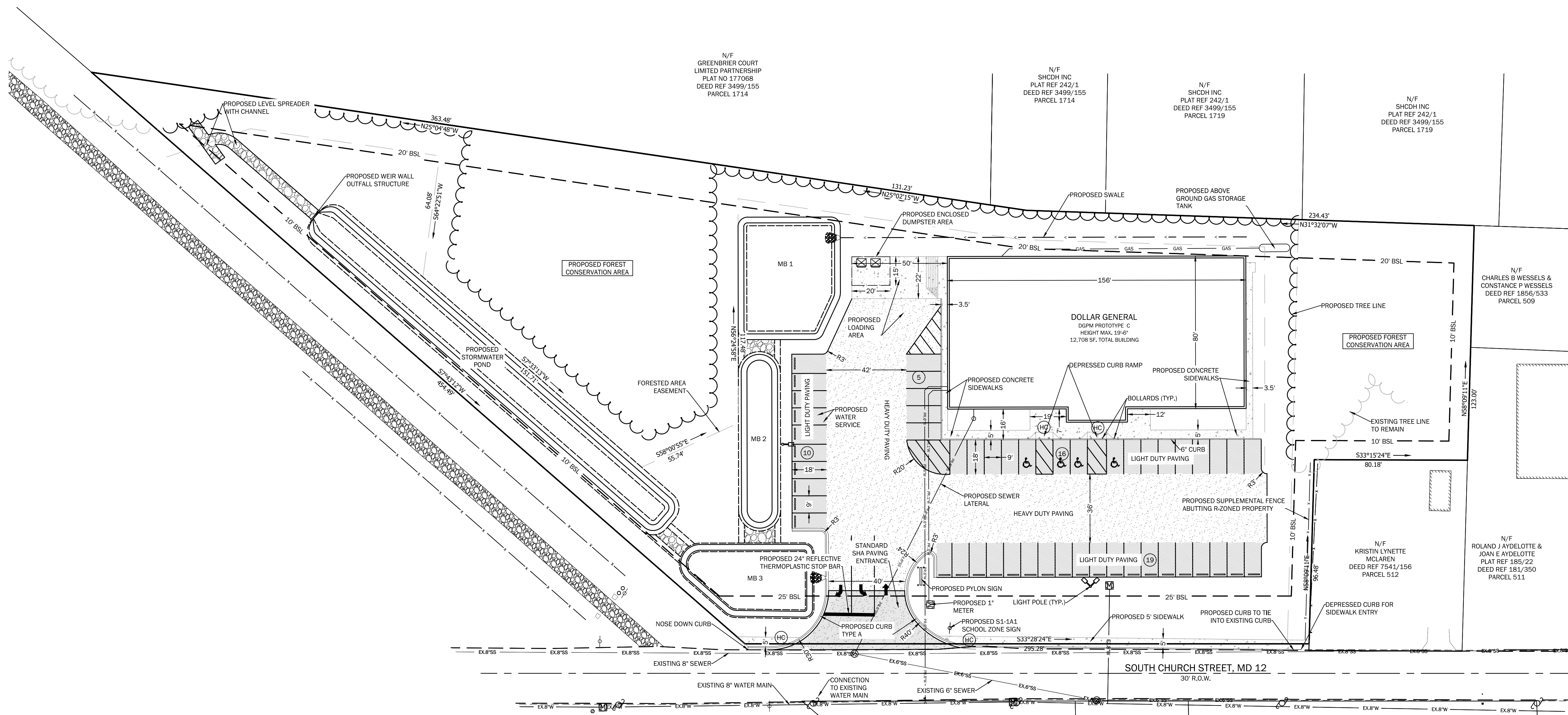
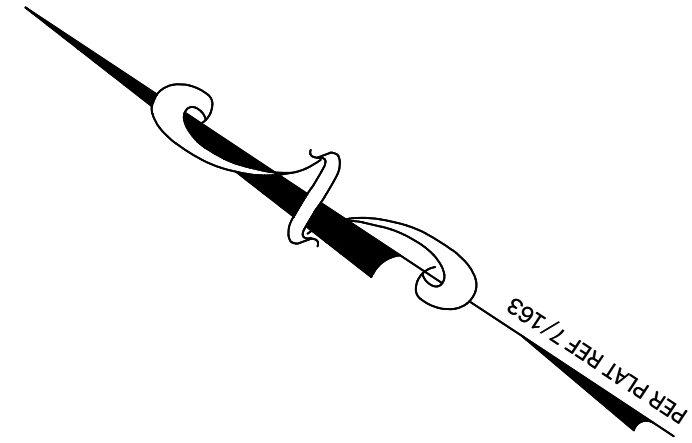
DATE: 12/05/23  
 DRAWN BY: WLK  
 CHECKED BY: EX

**EXISTING CONDITIONS**  
**DOLLAR GENERAL**  
 Road Name: SOUTH CHURCH STREET  
 For: OXFORD CHASE DEVELOPMENT  
 SNOWHILL, MARYLAND

SCALE: 1" = 30'  
 SHEET NO. OF EXISTING COND: 513  
 TAX MAP: 201  
 GRID: 17.24  
 PARCEL: 513  
 DRAFTSMAN: WLK  
 DATE: 12/05/23  
 SURVEYING: PARKER & ASSOCIATES  
 FORESTRY: PARKER & ASSOCIATES  
 CIVIL ENGINEERING: PARKER & ASSOCIATES  
 SITE PLANNING: PARKER & ASSOCIATES

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
CeB	Cedartown-Rosedale complex, 2 to 5 percent slopes	A	0.5	14.9%
EvA	Evesboro loamy sand, 0 to 2 percent slopes	A	0.3	11.1%
EvB	Evesboro loamy sand, 2 to 5 percent slopes	A	2.3	74.0%
<b>Totals for Area of Interest</b>			<b>3.1</b>	<b>100.0%</b>

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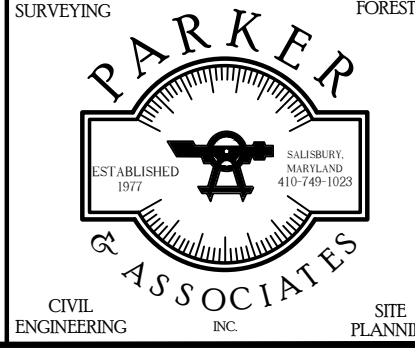
SP-1  
 GRAPHIC SCALE  
 1 inch = 30 feet

REVISIONS	DATE	BY	CHK

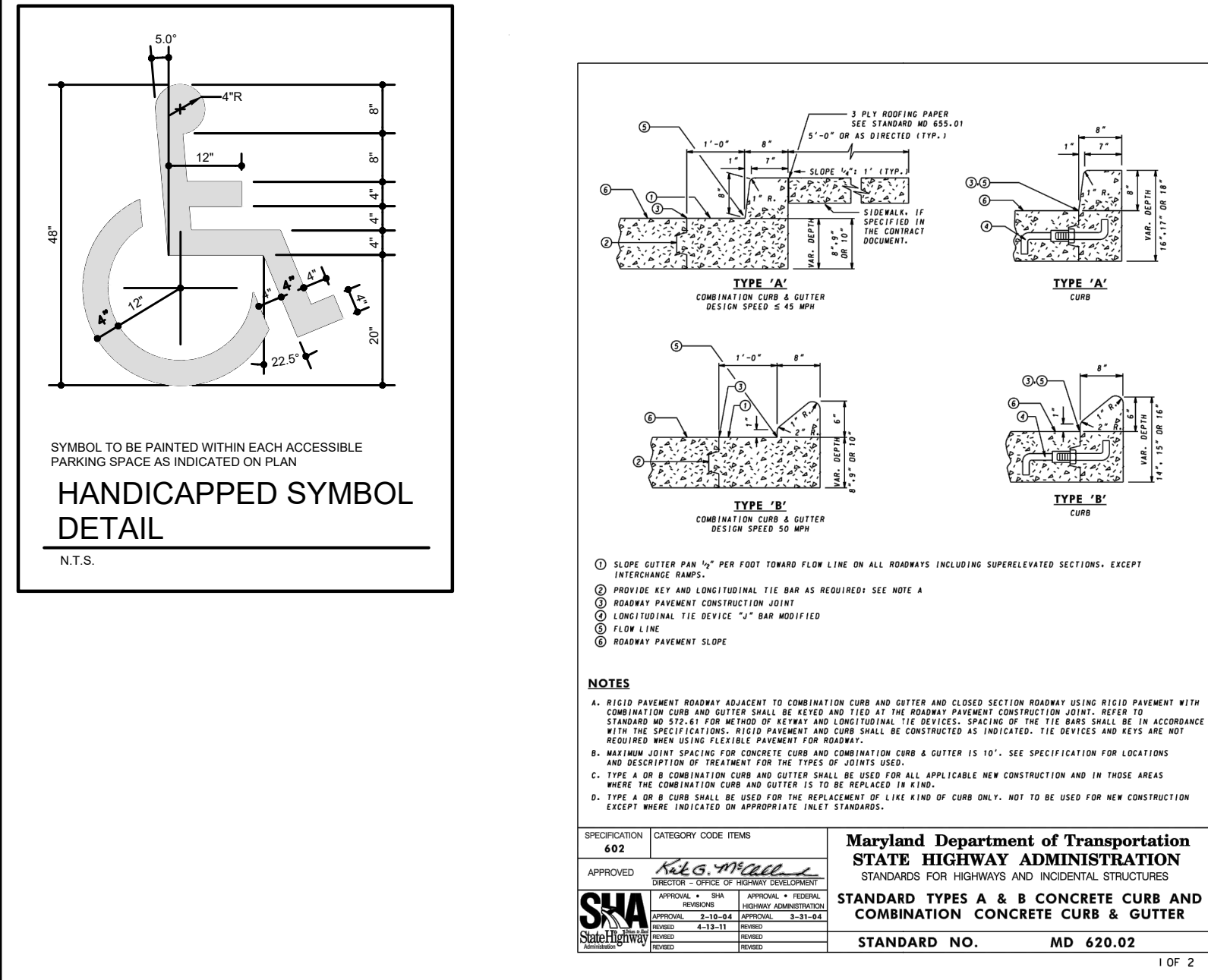
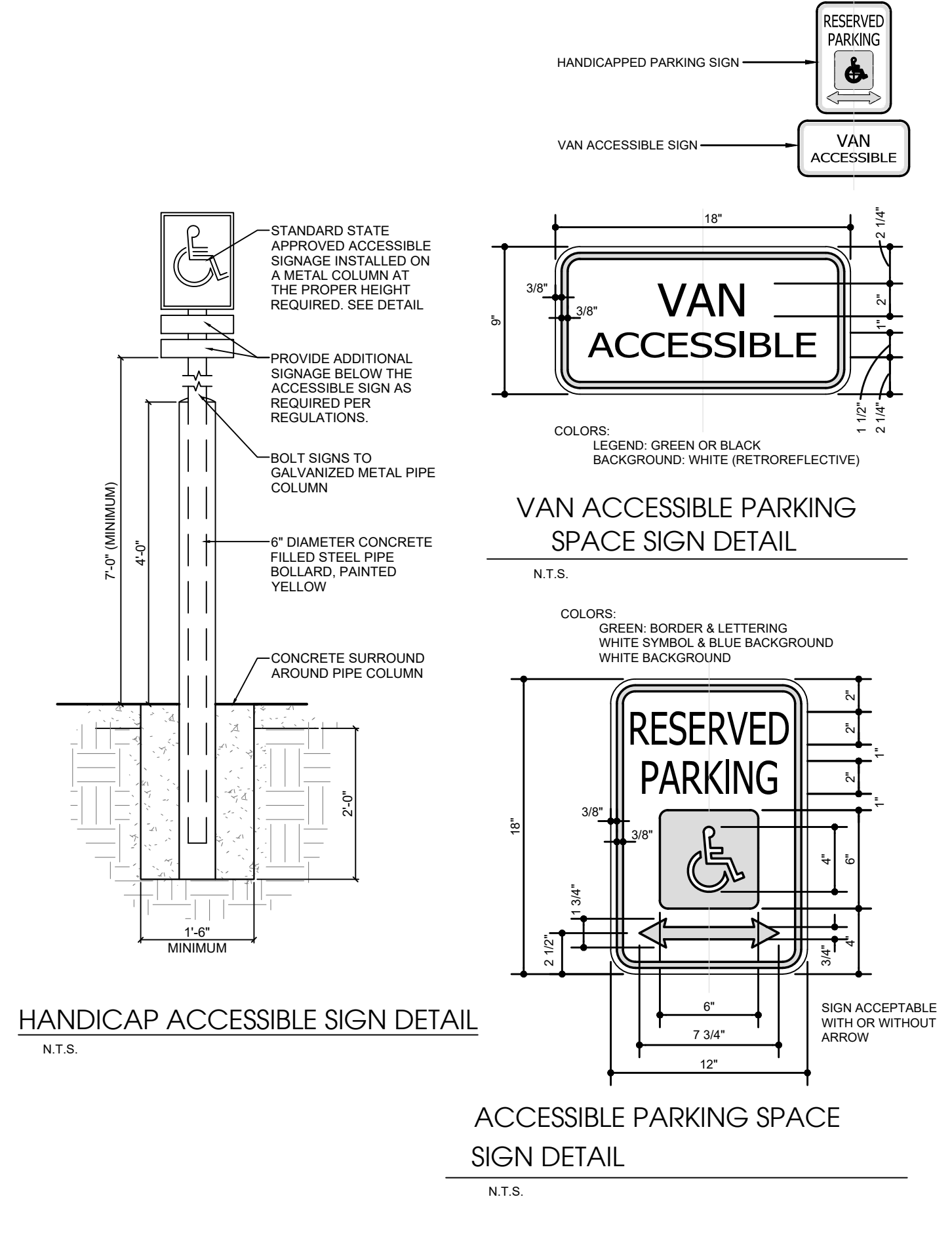
DATE	BY	CHK	NO.	SITE
12/05/23	WLK		201	513

**SITE PLAN**  
**DOLLAR GENERAL**  
 Road Name: SOUTH CHURCH STREET  
 For: OXFORD CHASE DEVELOPMENT  
 SNOWHILL, MARYLAND

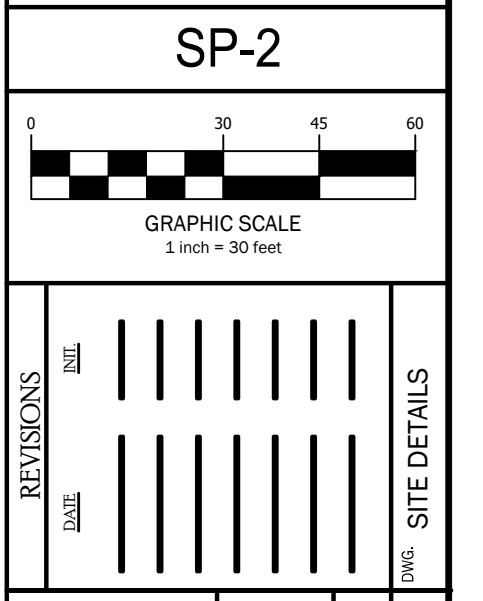
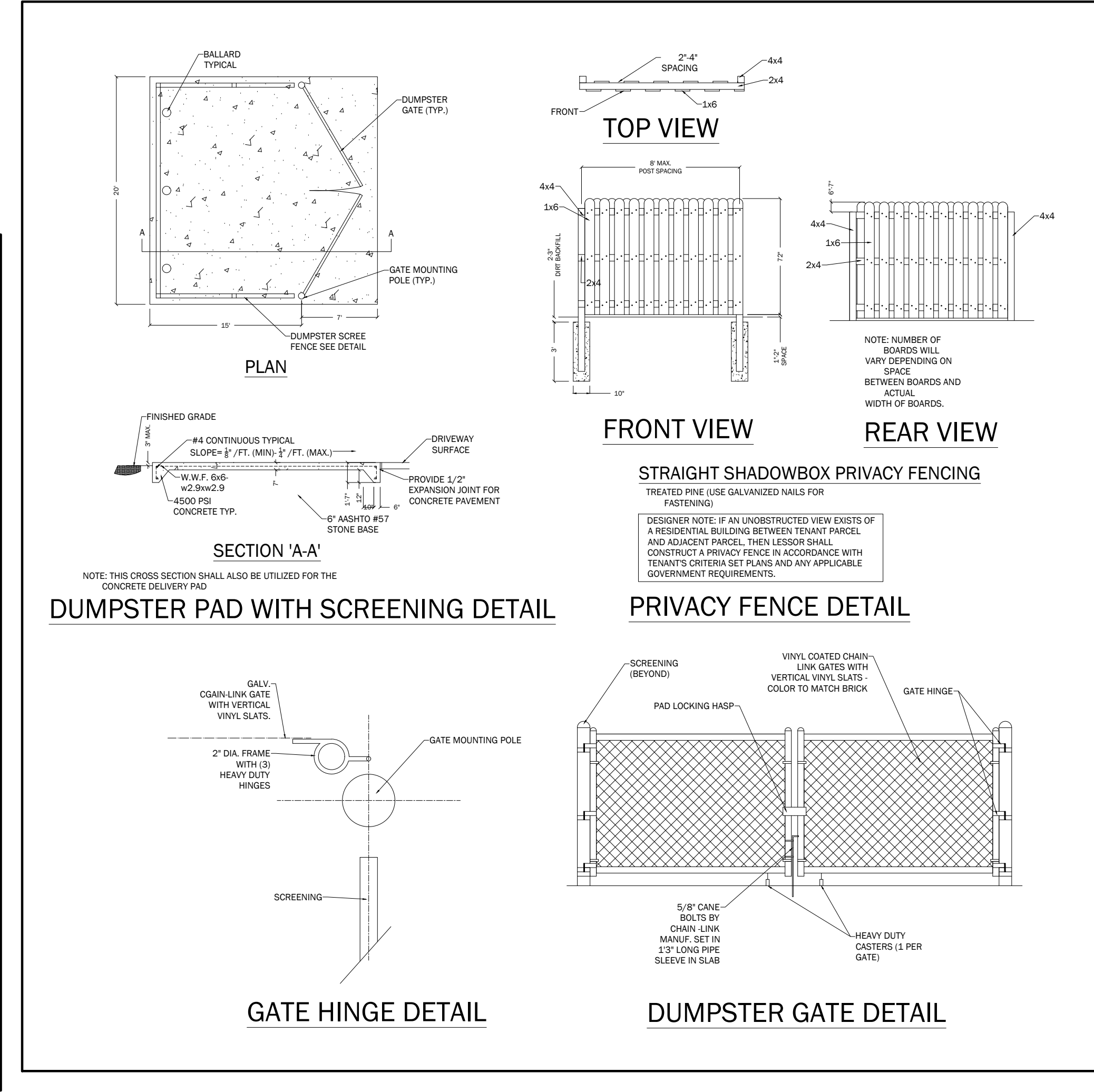
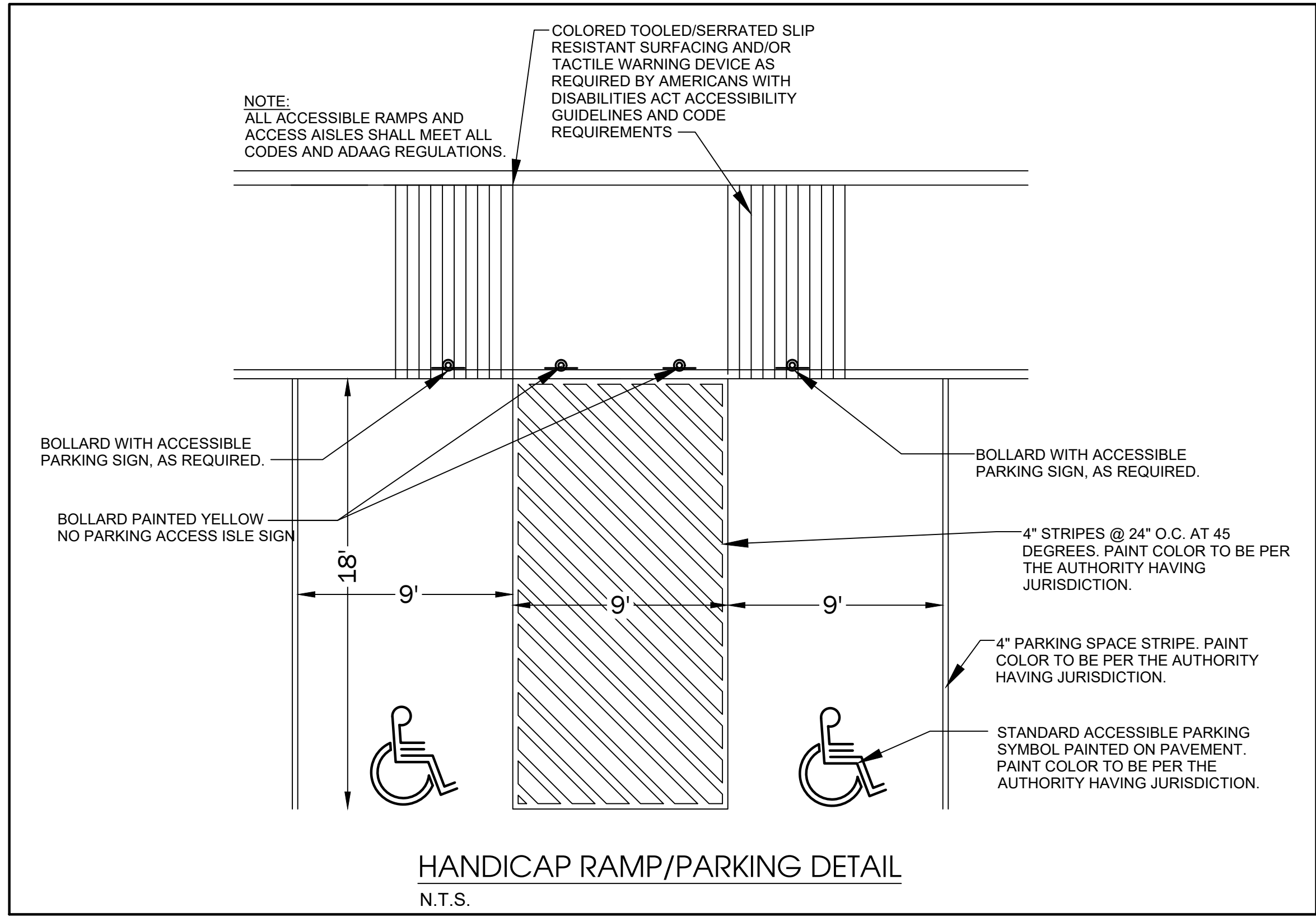
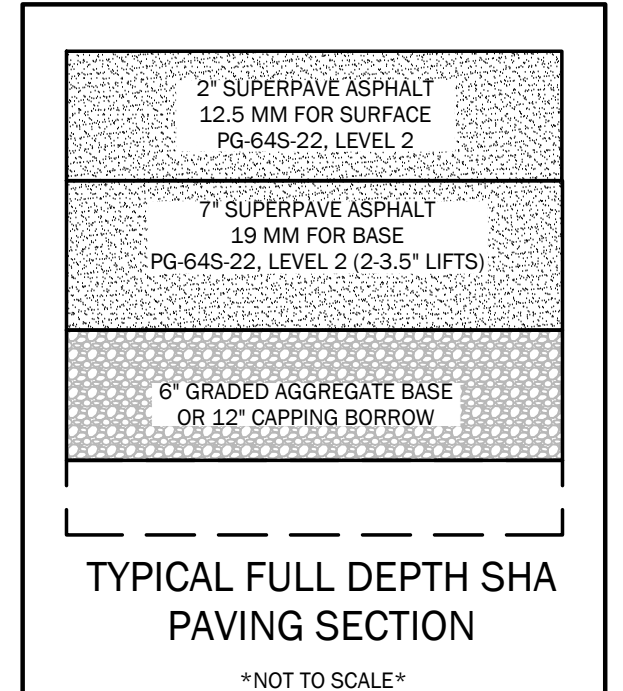
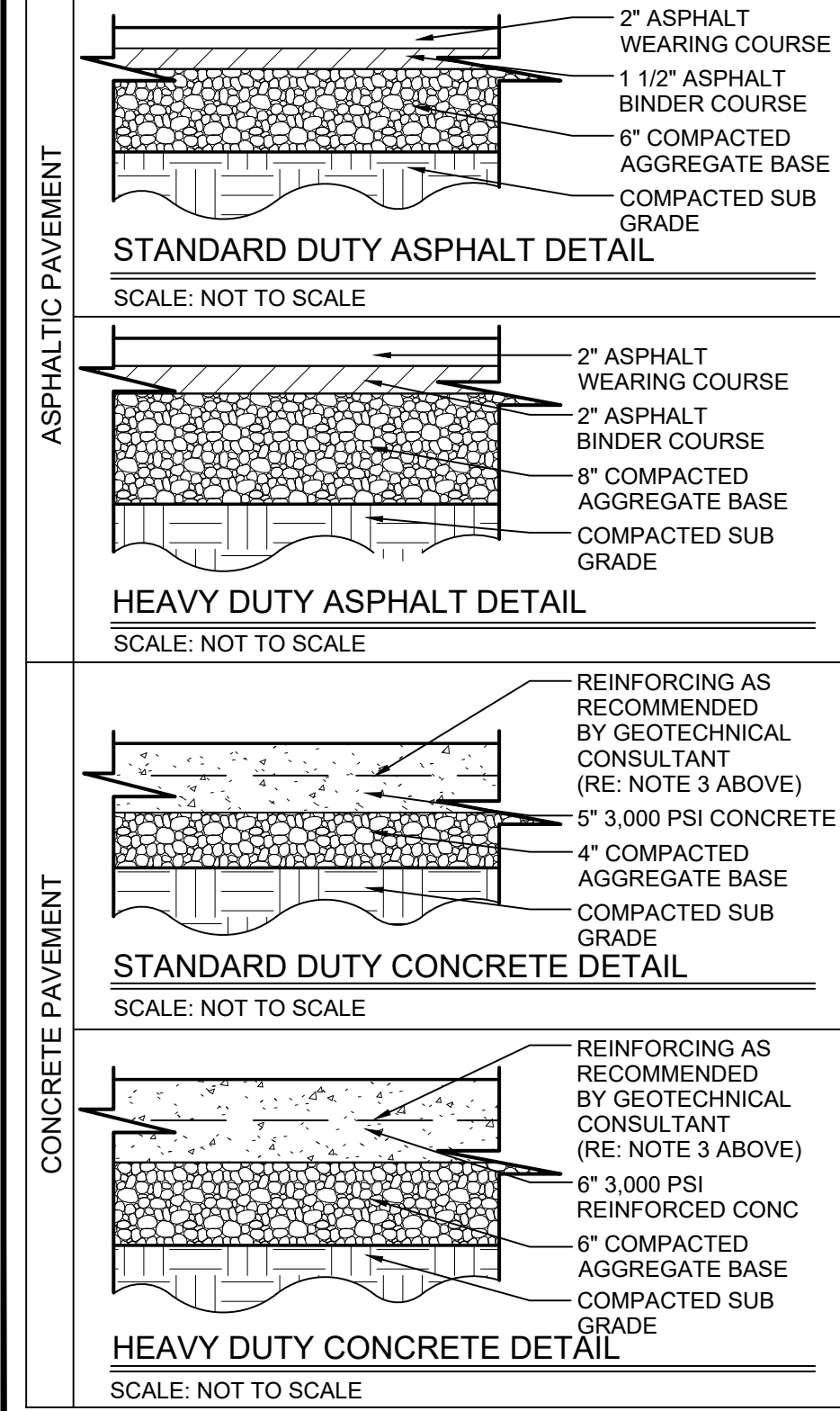
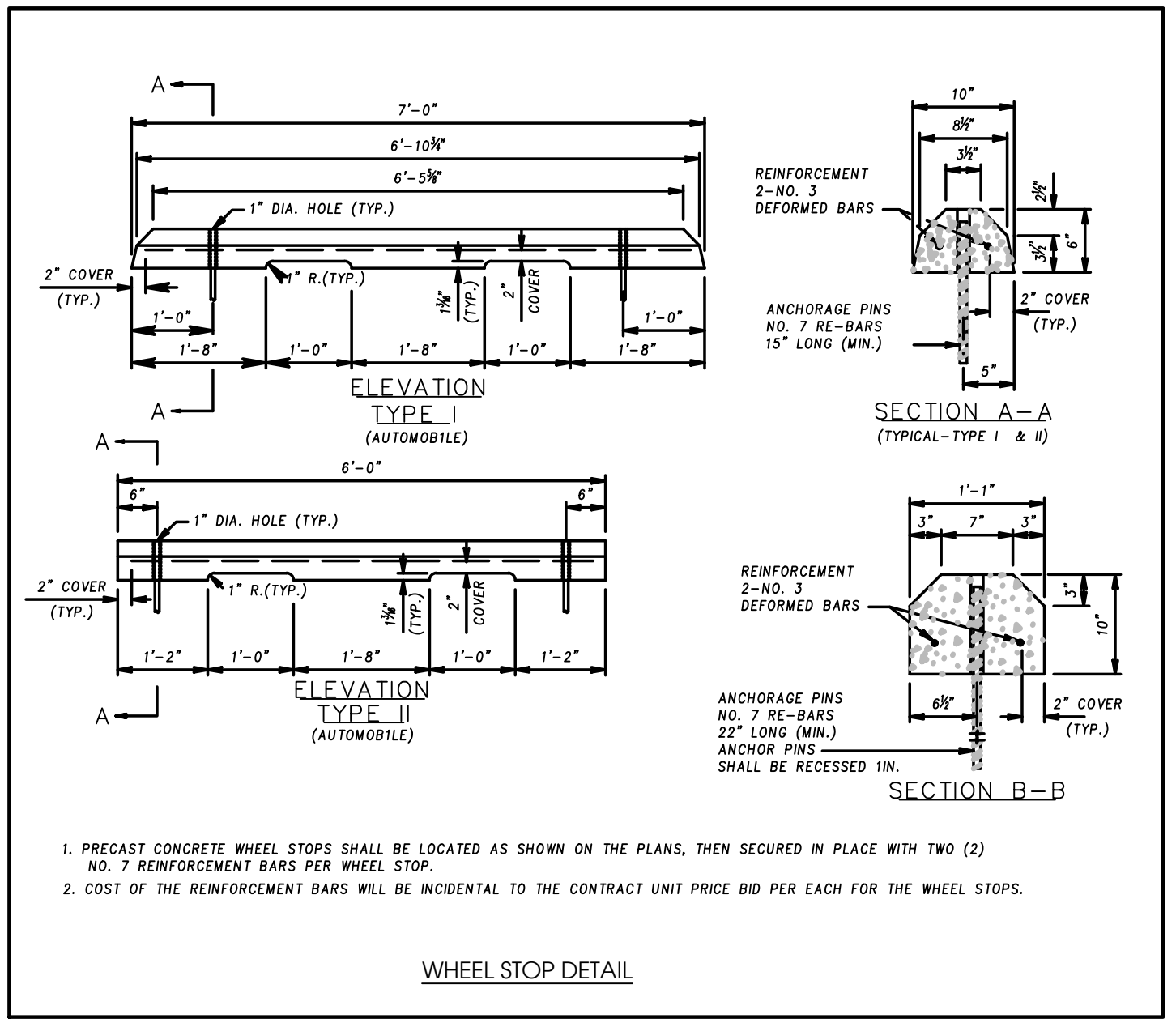
SCALE	DATE	DRAWN	CHKD	NO.	SITE
1" = 30'	12/05/23	WLK		201	513



Dec 07, 2023 8:42am



1. DETAILS ARE DOLLAR GENERAL STANDARD REQUIREMENTS AND MAY INCREASE OR DECREASE WITH VARIOUS SOIL CONDITIONS. A GEOTECHNICAL INVESTIGATION WITH PAVEMENT DESIGN RECOMMENDATIONS SHALL BE COMPLETED FOR EACH DEVELOPMENT. THE FOLLOWING DETAILS ARE MINIMUM DOLLAR GENERAL PAVEMENT REQUIREMENTS. INCREASED RECOMMENDATIONS ARE TO BE USED.
2. THE SUBGRADE MATERIALS SHALL BE PROOF ROLLED AND/OR SCARIFIED AND COMPACTED PRIOR TO PLACEMENT OF BASE MATERIAL. WHERE EXISTING SURFACE MATERIALS ARE UNSUITABLE, THEY SHALL BE REMOVED AND REPLACED WITH COMPACTED SELECT MATERIAL IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
3. HEAVY DUTY CONCRETE PAVEMENT AND STANDARD DUTY CONCRETE PAVEMENT (AS RECOMMENDED BY THE GEOTECHNICAL REPORT OR DOLLAR GENERAL MINIMUMS) SHALL BE STEEL REINFORCED. REINFORCEMENT TYPE SHALL BE PRIOR APPROVED BY DOLLAR GENERAL.
4. CONCRETE PAVEMENT PLAN SHALL BE PROVIDED TO DOLLAR GENERAL FOR PRIOR APPROVAL. ALL JOINTS MUST BE SEALED WITH AN APPROVED SEALANT. STEEL REINFORCING SHALL BE USED AT JOINTS. REFER TO ACI 330R (GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS) FOR JOINT DESIGN AND LAYOUT.



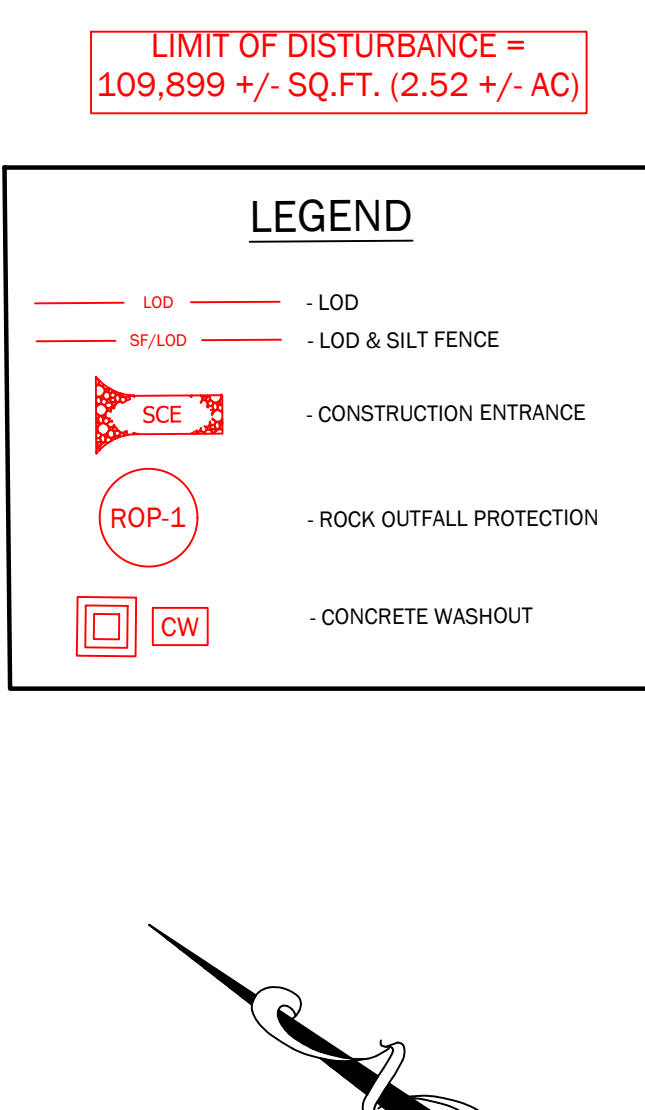
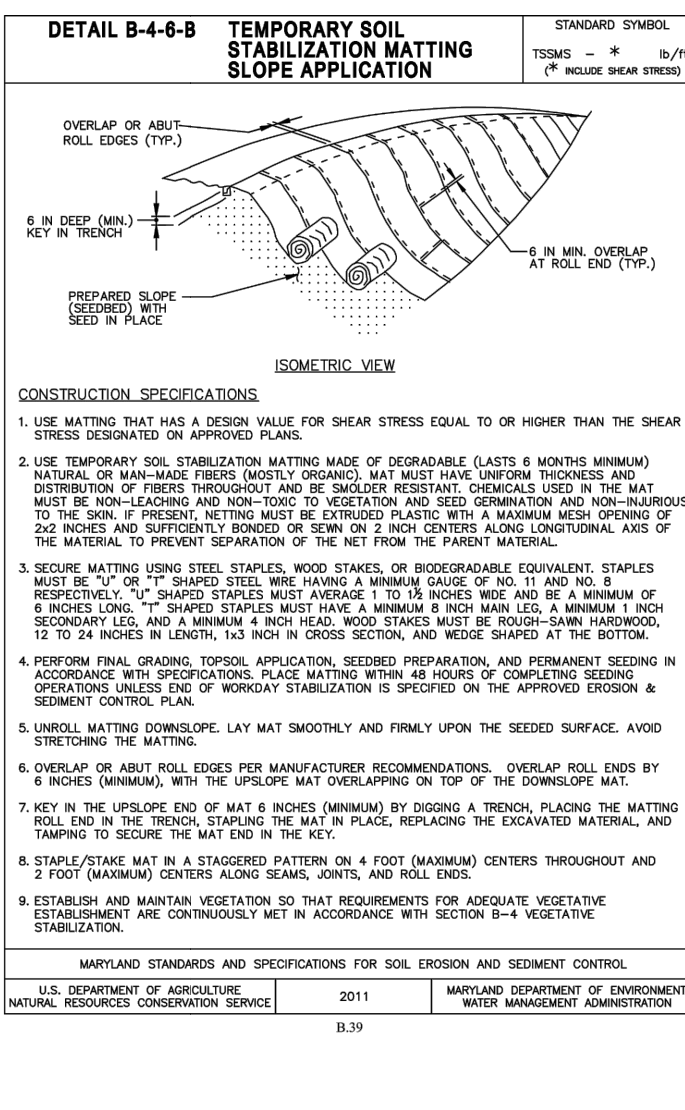
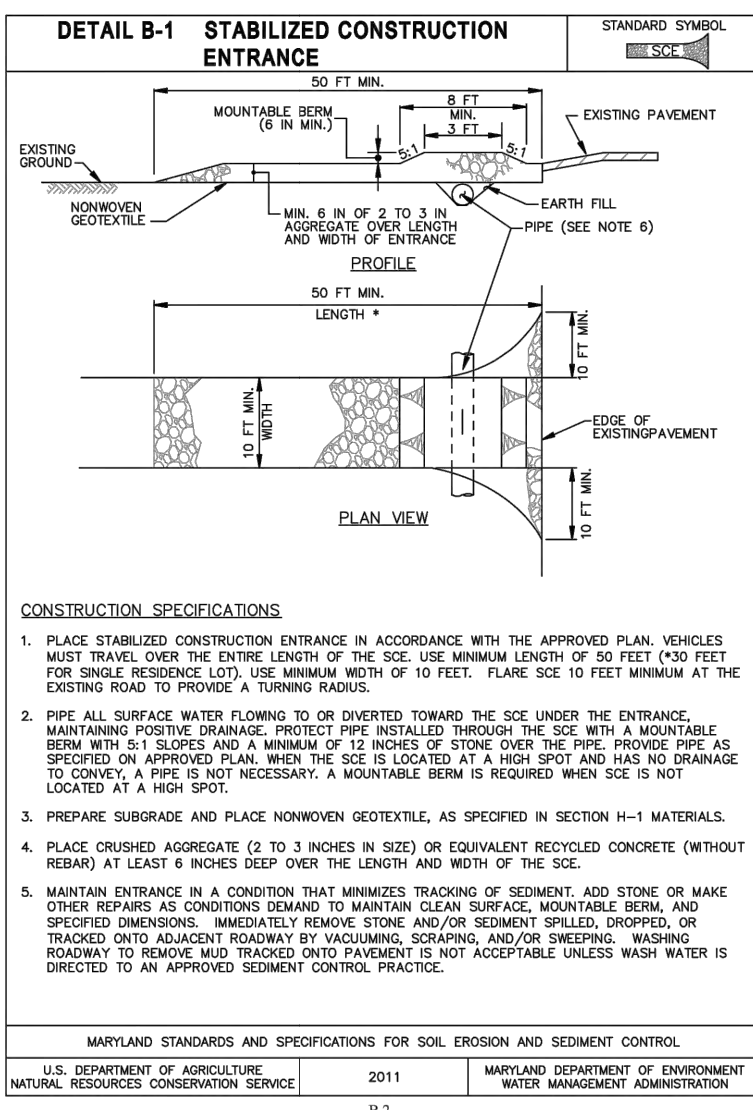
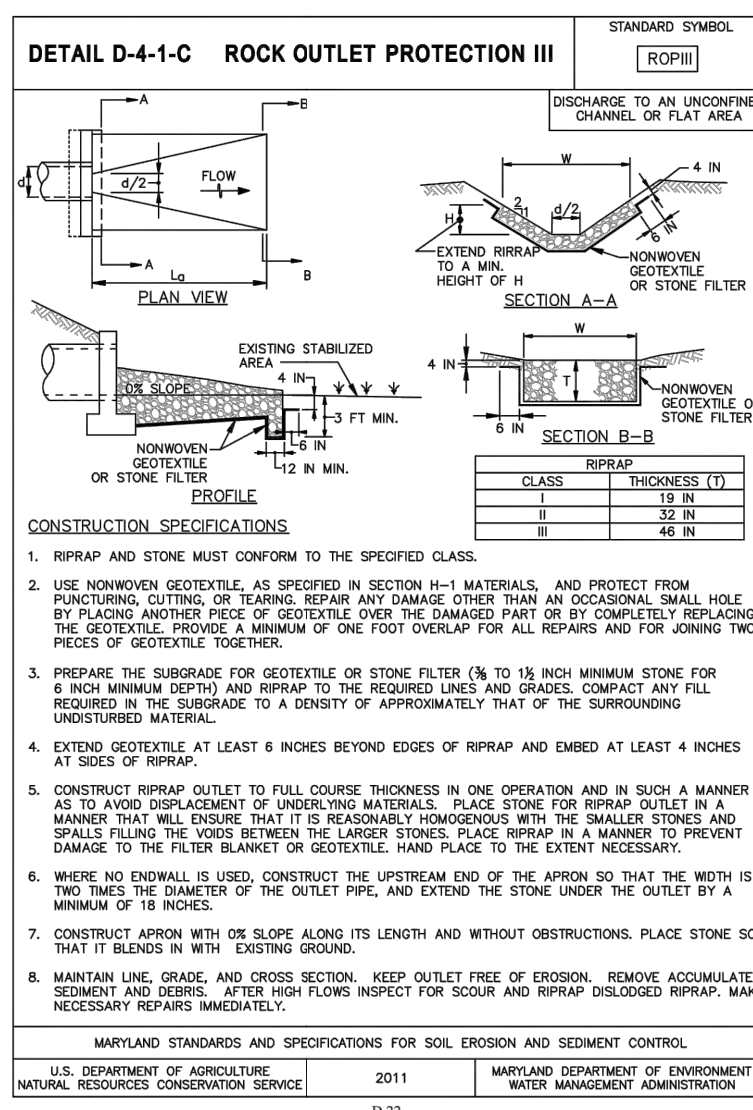
**SITE DETAILS**

**DOLLAR GENERAL**

Road Name: SOUTH CHURCH STREET  
For: OXFORD CHASE DEVELOPMENT  
SNOWHILL, MARYLAND

DATE: 12/05/23  
SCALE: 1" = 30'  
DRAWN BY: WJK  
CHECKED BY: JLD  
DATE: 12/05/23  
SCALE: 1" = 30'  
DRAWN BY: WJK  
CHECKED BY: JLD

**PARKER & ASSOCIATES**  
CIVIL ENGINEERING & ARCHITECTURE  
1100 W. BROAD STREET, SUITE 200  
ANNAPOLIS, MD 21403  
TEL: 410-293-8438  
WWW.PARKER-AND-ASSOCIATES.COM



**SEDIMENT CONTROL NOTES FOR GENERAL PERMIT**

1. THESE PLANS HAVE UTILIZED ENVIRONMENTAL SITE DESIGN IN ALL LOCATIONS WHERE IT IS FEASIBLE AND ECONOMICAL TO DO SO.
2. THE LIMITS OF DISTURBANCE SHOWN HEREON HAVE BEEN ESTABLISHED TO PROTECT ALL NATURAL AREAS THAT ARE TO REMAIN. THE CONTRACTOR SHALL OBSERVE AND INSPECT THESE CONTROLS AND REPAIR THEM IN ACCORDANCE WITH THE GENERAL PERMIT.
3. THE CONSTRUCTION EQUIPMENT AND VEHICLE ACCESS POINTS SHALL BE LIMITED ONLY TO THE STABILIZED CONSTRUCTION ENTRANCE(S) AS SHOWN ON THE APPROVED PLAN.
4. THIS SITE HAS BEEN EVALUATED IN AN EFFORT TO MINIMIZE THE CLEARING OF THE EXISTING VEGETATION. THE LIMITS OF DISTURBANCE AS SHOWN HEREON SHALL BE STRICTLY ADHERED TO IN AN EFFORT TO MINIMIZE THE AMOUNT OF EXISTING VEGETATION THAT IS TO BE CLEARED.
5. IF THERE ARE NO PHASE LINES PRESENT ON THESE PLANS, THIS SITE IS TO BE CONSTRUCTED IN A SINGLE PHASE IN ITS ENTIRETY. IF THIS SITE IS TO BE PHASED, THE PHASE LINES ARE REPRESENTED HEREON. THE PHASE LINES SHOWN ON THESE PLANS ARE PURSUANT TO A CAREFUL EVALUATION OF THE SITE AREA AND OF THE NEEDS OF THE COMMUNITY.
6. THIS SITE HAS BEEN EVALUATED FOR SOILS AT A HIGH RISK FOR EROSION. THESE AREAS HAVE BEEN PROTECTED FROM DISTURBANCE, WHERE POSSIBLE, WHERE DISTURBANCE OF THESE HIGHLY ERODIBLE SOILS IS UNAVOIDABLE. APPROPRIATE ADVANCED STABILIZATION TECHNIQUES AND OTHER SOIL STABILIZATION MEASURES HAVE BEEN SPECIFIED. IF AT ANY TIME, ANY AREA SEEMS TO BE BYPASSING SOILS STABILIZATION TECHNIQUES OR IF THE SPECIFIED MEASURES SEEM INADEQUATE, CONTRACTOR IS TO NOTIFY ENGINEER IMMEDIATELY FOR INSPECTION AND/OR REDESIGN OF THE SEDIMENT CONTROL MEASURES IN THIS AREA.
7. THE LIMITS OF DISTURBANCE AS SHOWN HEREON HAS BEEN DESIGNATED TO AVOID CLEARING ANY STEEP SLOPES ARE PRESENT ON THIS SITE. WHERE STEEP SLOPES ARE SLOPED TO BE DISTURBED, THE CONTRACTOR SHALL FOLLOW THE SEDIMENT CONTROL MEASURES AND TECHNIQUES AS SHOWN ON THESE PLANS CAREFULLY. IF AT ANY TIME, ANY AREA SEEMS TO BE BYPASSING SOILS STABILIZATION TECHNIQUES OR IF THE SPECIFIED MEASURES SEEM INADEQUATE, CONTRACTOR IS TO NOTIFY ENGINEER IMMEDIATELY FOR INSPECTION AND/OR REDESIGN OF THE SEDIMENT CONTROL MEASURES IN THIS AREA.
8. THIS SITE SHALL BE STABILIZED, IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION AND THE SEEDING SUMMARY, AFTER EACH FEASIBLE STAGE OF CONSTRUCTION. THE PROPOSED SEDIMENT TRAP IS TO BE INSPECTED REGULARLY TO ENSURE THAT THE SITES DISCHARGE REMAINS FREE FROM POLLUTANTS.

**SEQUENCE OF CONSTRUCTION**

1. APPROVAL OF ALL PLANS, INCLUDING SEDIMENT CONTROL, NOTIFY THE TOWN OF SNOW HILL, STORMWATER MANAGEMENT INSPECTOR, M.D.E. INSPECTOR @ 410-901-4020, CONTRACTOR, DESIGNER, AND A REPRESENTATIVE FROM ANY OTHER APPROVING AGENCY OF A PRE-CONSTRUCTION MEETING AT LEAST TWO WEEKS, IN WRITING, PRIOR TO THE STARTING WORK ON EACH PHASE OF CONSTRUCTION.
2. Contact the Worcester County Department of Environmental Programs at 410-632-1220 to schedule a pre-construction meeting at least 48 hours prior to commencing any site work. Failure to do so may result in an immediate "Stop Work" order.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE(S) AS SHOWN ON THE APPROVED PLAN.
4. CLEAR AND GRUB AS NECESSARY TO ENSURE PROPER INSTALLATION OF SEDIMENT CONTROL MEASURES. INSTALL SILT FENCING AS SHOWN ON PLAN. OBTAIN APPROVAL OF INSTALLED EROSION CONTROL MEASURES BEFORE CONTINUING.
5. BEGIN GRADING OF TEMPORARY SEDIMENT BASIN. EXCESS MATERIAL IS TO BE HAULED OFF TO AN APPROVED LOCATION. INSTALL SAFETY MEASURES TO PREVENT ACCIDENTS.
6. BEGIN FULL SITE GRADING. BEGIN TO CUT IN PARKING LOTS, SIDEWALKS, GRADE BUILDING PADS & PREPARE FOR CURB INSTALLATION. INSTALL CONCRETE WASHOUTS, BEGIN BUILDING CONSTRUCTION.
7. BEGIN INSTALLATION OF UTILITIES PER PLAN INCLUDING SEWER AND WATER.
8. INSTALL CURB AND GUTTER. INSTALL STONE BASE FOR ROADS AND PARKING LOT. STABILIZE AREAS THAT ARE COMPLETED.
9. ONCE STONE IS GRADED AND ROLLED, AND SITE IS FULLY STABILIZED BEGIN ESD CONSTRUCTION. OVER EXCAVATE FACILITIES TO ALLOW FOR BACKFILLING OF STONE, PEA GRAVEL AND MEDIA. BOTTOM OF FACILITIES ARE TO BE SCARIFIED. BACKFILL FACILITY WITH MEDIA AND PEA GRAVEL PER DETAILS. STABILIZE INFILTRATION TRENCHES WITH SEED. CURLEX OR SOO MAY BE REQUIRED FOR SIDE SLOPES. INSTALL RIPRAP PROTECTION IN LOCATIONS SHOWN ON PLANS. THE INFILTRATION FACILITY IS TO BE EXCAVATED PER PLAN AND IMMEDIATELY PERMANENTLY STABILIZED.
10. APPLY PERMANENT STABILIZATION IMMEDIATELY.

NOTE: RESIDENT INSPECTOR MUST BE PRESENT DURING ALL PHASES OF ESD CONSTRUCTION.

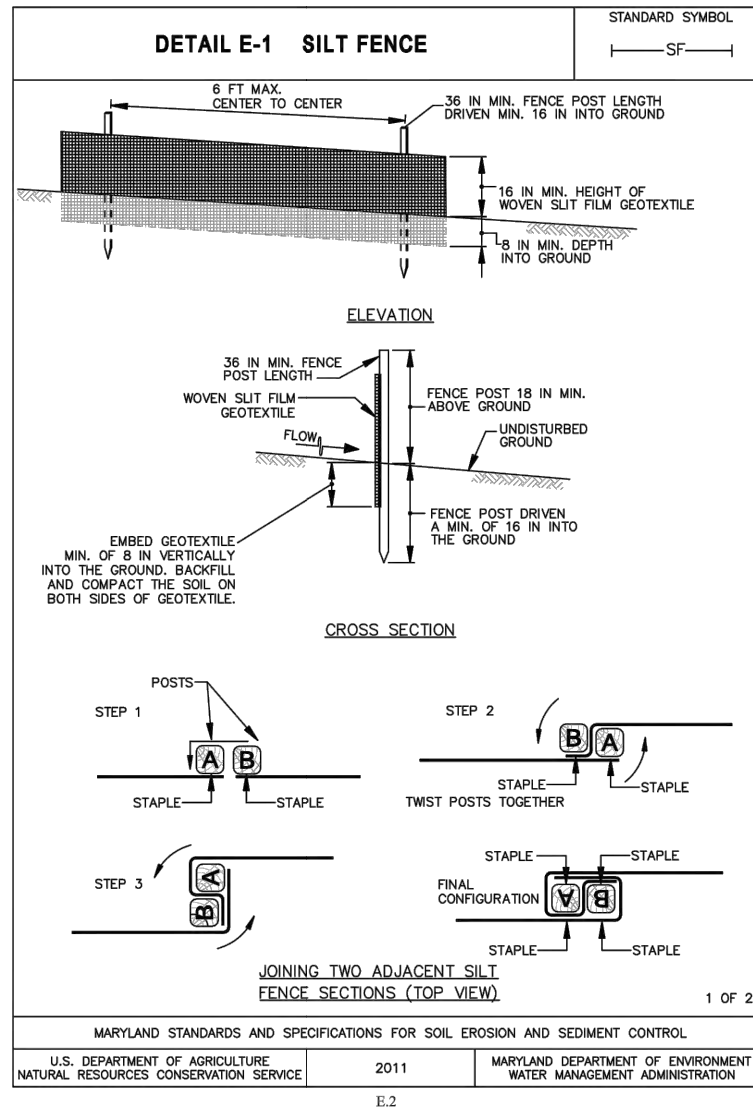
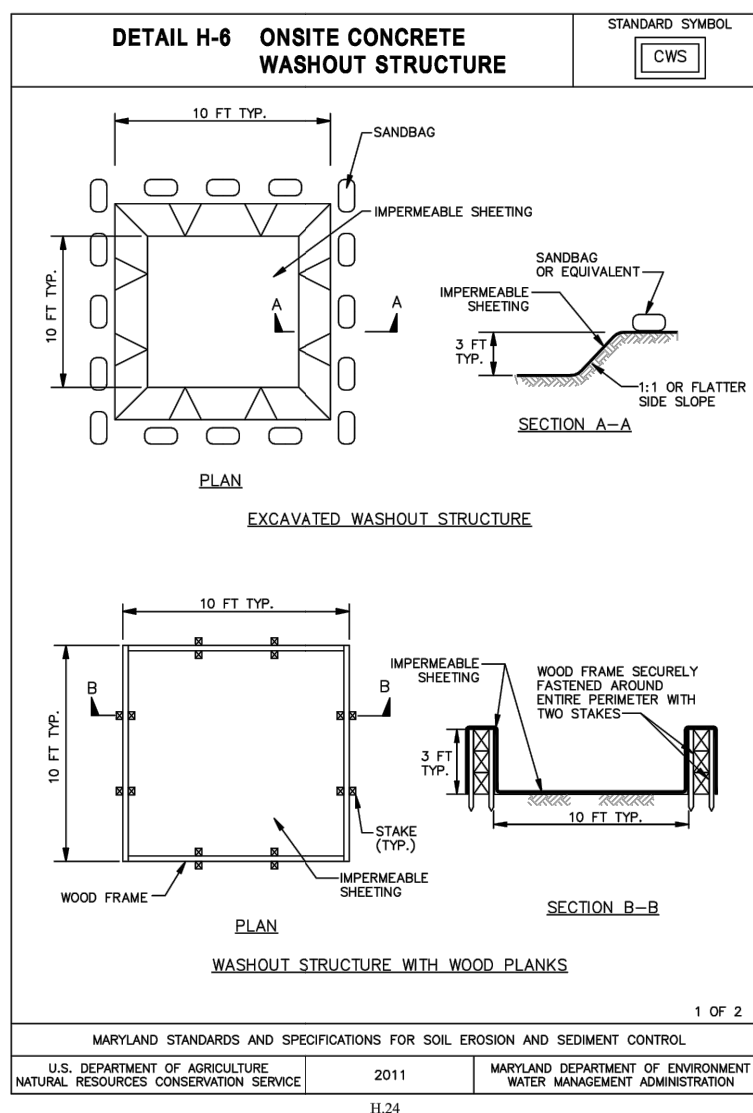
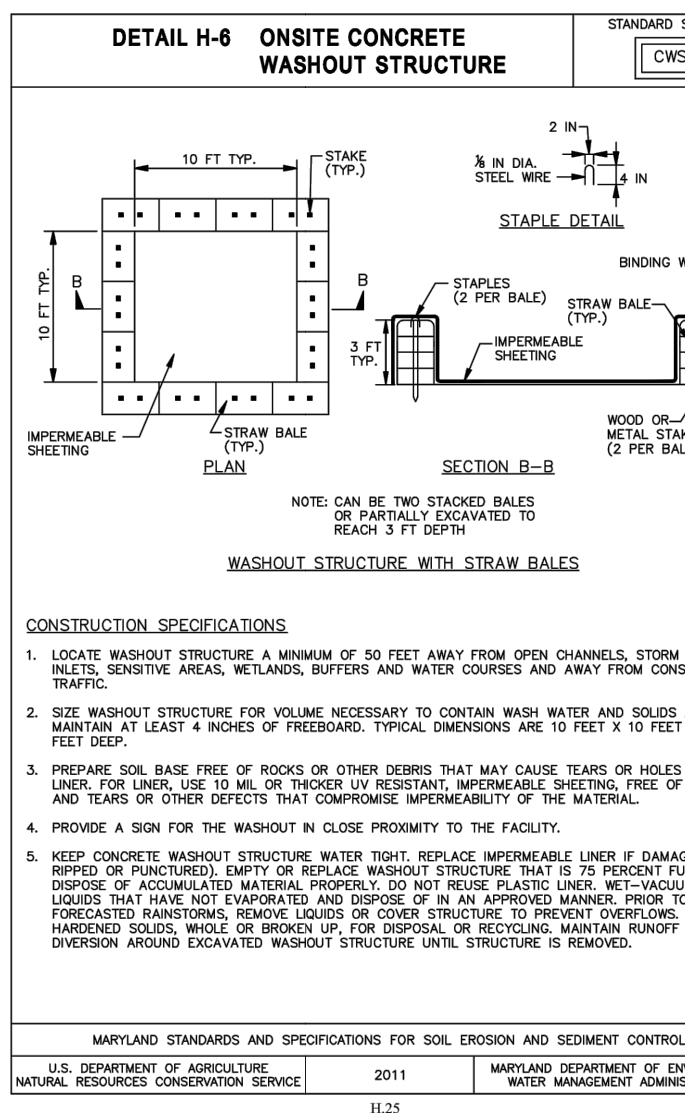
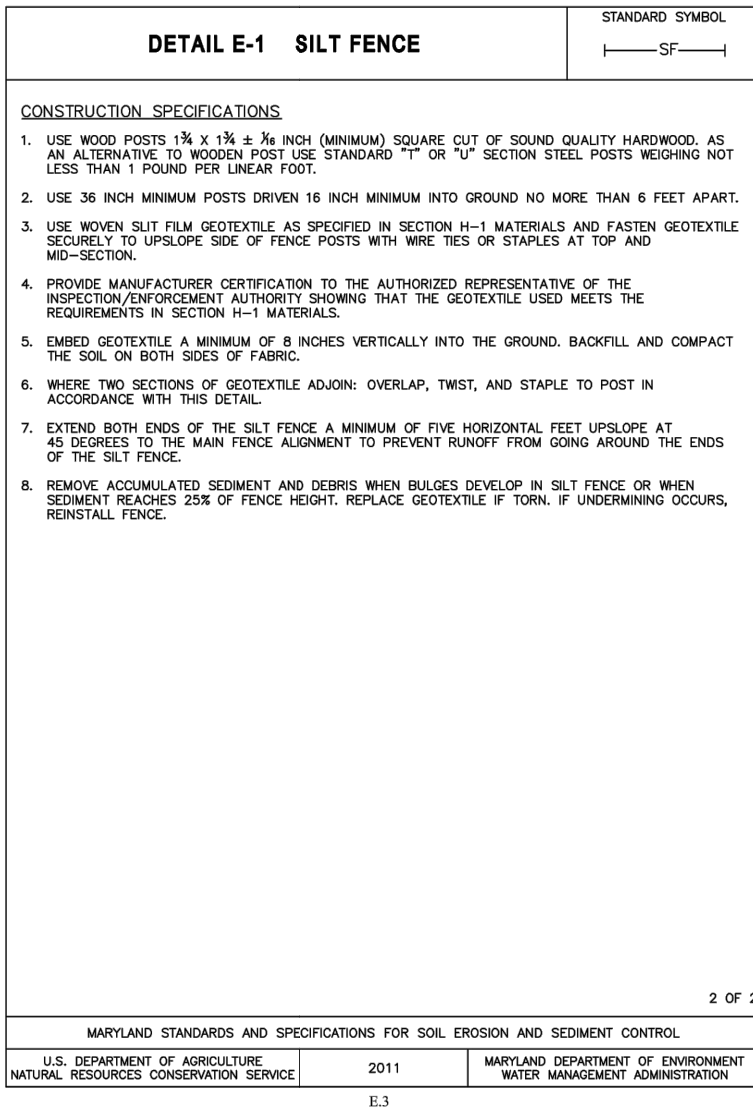
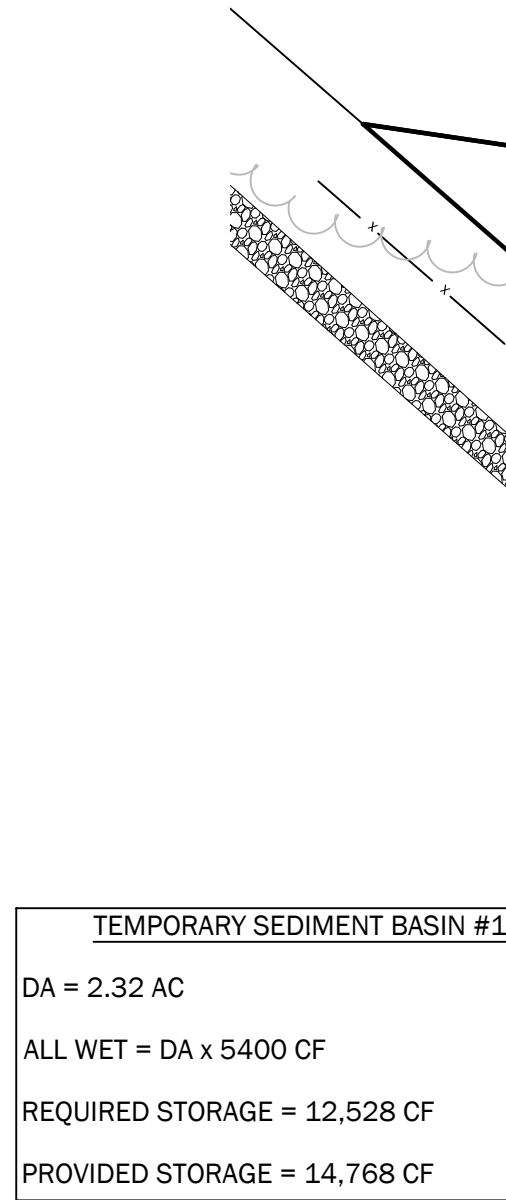
11. AFTER ASSURANCE THAT THE ENTIRE SITE IS STABILIZED AND COMPLETE CONTACT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AT 410-901-4020 PRIOR TO REMOVAL ANY SEDIMENT CONTROL MEASURES. REMOVE ALL SEDIMENT TRAPPED IN THE QUANTITY POND USED AS A TEMPORARY SEDIMENT BASIN.

12. RAKE AND FINAL SEED ANY AREA OF MINOR DISTURBANCE IN REMOVAL OF SEDIMENT CONTROL DEVICES. PAVE AND STRIP.

**INSPECTION**

REGULAR INSPECTIONS SHALL BE MADE DURING THE FOLLOWING STAGES OF CONSTRUCTION:

- DURING EXCAVATION TO SUBGRADE AND PLACEMENT AND BACKFILL OF UNDERDRAIN SYSTEMS.
- DURING PLACEMENT OF FILTER MEDIA.
- DURING CONSTRUCTION OF APPURTENANT CONVEYANCE.
- UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION.



**CONSTRUCTION NOTES**

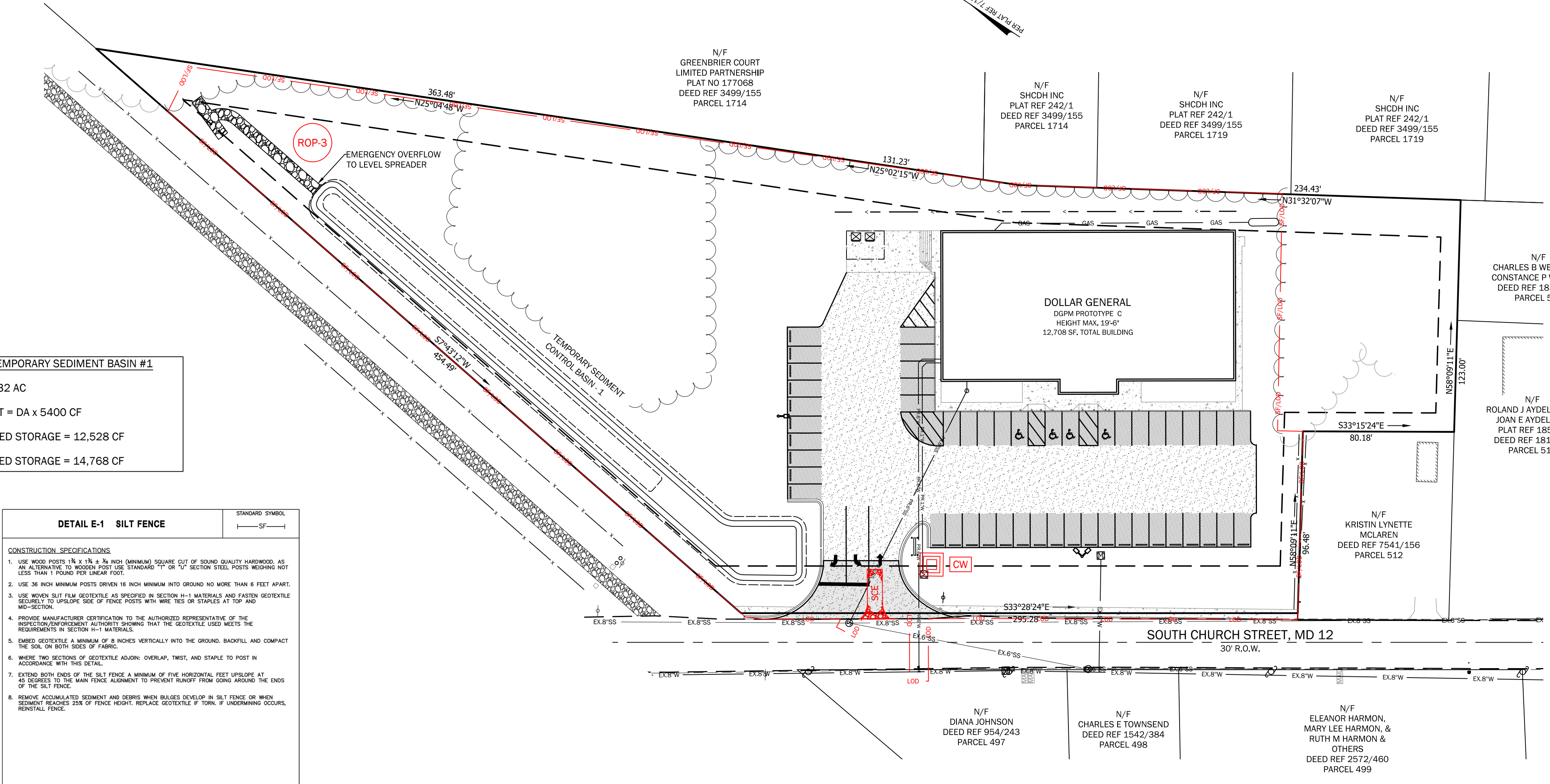
- 1) PARKING AREA TO BE PAVED WITH TWO LIFTS OF BITUMINOUS CONCRETE SAND OVER A COMPACTED 6" THICK LAYER OF CR-6 PLACED ON A SANDY COMPACTED SUBGRADE (12" MINIMUM). GRAVEL TO BE 4" THICK OVER SUITABLE COMPACTED SUBGRADE.
- 2) CONTRACTOR TO CONTACT MISS UTILITY TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES BEFORE EXCAVATING.
- 3) PAVING TO BE STRIPPED AS SHOWN AND PARKING BUMPERS PLACED WHERE REQUIRED.
- 4) ALL DISTURBED AREAS TO BE SEED, FERTILIZED AND MULCHED TO S.C.S. SPECIFICATIONS.
- 5) ALL PROPOSED GRADES ARE FINISHED PAVING UNLESS OTHERWISE NOTED.
- 6) INSTALL SIDEWALK WITH MONOLITHIC CURB WHERE SHOWN.
- 7) EXCAVATE SWALES TO THE GRADES SHOWN. SWALE SLOPES ADJACENT TO THE PARKING LOTS ARE TO BE SODDED OR CURLEXED AS NECESSARY TO ENSURE SOIL STABILIZATION.
- 8) ALL PAVING AND ROAD PATCHING WITHIN THE STREET RIGHT-OF-WAY WHICH IS NECESSITATED BY THE CONSTRUCTION OF THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
- 9) DURING CONSTRUCTION, ALL PIPE OPENINGS AND INLETS ARE TO BE COVERED WITH FILTER CLOTH AND 2" STONE.
- 10) ALL ON-SITE WORK TO CONFORM WITH SOMERSET COUNTY STANDARDS AND SPECIFICATIONS.

**TEMPORARY SEEDING SUMMARY**

SEED MIXTURE (HARDNESS ZONE 7a & b) FROM TABLE B.1	FERTILIZER RATE (10-20-20)	LIME RATE
No. SPECIES	APPLY CATION RATE	SEEDING DATES
1	40	3/1-4/30
2	20	5/1-6/14

**PERMANENT SEEDING SUMMARY**

SEED MIXTURE (FOR HARDNESS ZONE 7a & b) FROM TABLE B.3	FERTILIZER RATE (10-20-20)	LIME RATE						
MIX #1	SPECIES	APPLY CATION RATE	SEEDING DATES	SEEDING DEPTHS	N	P205	K2O	LIME RATE
11	ORANGE GRASS	30 lb/cu yd	2/15-4/30	1/4"-1/2"	4000 lb/acre	90 lb/acre	110 lb/acre	2 tons/acre
4	PERennial GRASS	30 lb/cu yd	5/1-6/14	1/4"-1/2"	4000 lb/acre	90 lb/acre	110 lb/acre	2 tons/acre



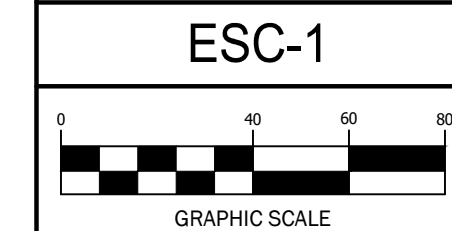
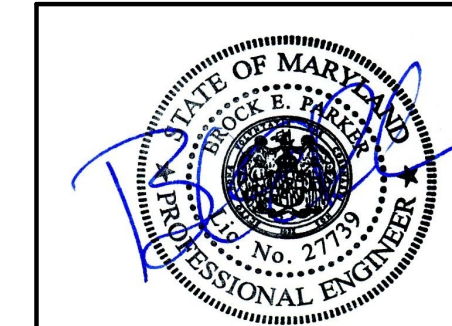
**SEDIMENT CONTROL - GENERAL NOTES**

- 1) WHEN ALL PLANS HAVE BEEN APPROVED, INCLUDING SEDIMENT CONTROL, NOTIFY STORMWATER MANAGEMENT INSPECTOR, SEDIMENT CONTROL INSPECTOR, CONTRACTOR, DESIGNER, AND A REPRESENTATIVE FROM ANY OTHER APPROVING AGENCY OF A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO STARTING WORK.
- 2) ALL SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER GRADING OF THE SITE AND AS SPECIFIED IN THE CONSTRUCTION SEQUENCE AND SCHEDULE FOR THIS PROJECT. PRIOR TO STARTING GRADING, THE CONTRACTOR SHALL GIVE 48 HOURS NOTICE TO THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (M.D.E.) AND THE TOWN OF SNOW HILL.
- 3) AS SOON AS ROUGH GRADING IS COMPLETE, AREAS TO BE PAVED WILL BE STABILIZED WITH BASE MATERIAL. ALL NON-PAVED DISTURBED AREAS, BOTH TEMPORARY AND PERMANENT, MUST BE STABILIZED WITH GRASS AS SOON AS POSSIBLE AFTER GRADING IN ACCORDANCE WITH 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. (REFER TO TEMPORARY AND PERMANENT SEEDING SCHEDULES FOR THIS PROJECT)
- 4) SEDIMENT CONTROL MEASURES WILL NOT BE REMOVED UNTIL APPROVAL IS OBTAINED FROM THE M.D.E.
- 5) DURING CONSTRUCTION, THE CONTRACTOR MUST PREVENT SEDIMENT FROM ENTERING STORM WATER DRAIN OUTLETS. THE CONTRACTOR MAY PLACE STRAW BALES TO FILTER THE STORM WATER OR CONSTRUCT SUITABLE SEDIMENT BASINS. SEDIMENT CONTROL MEASURES MUST BE MAINTAINED IN PLACE UNTIL FINAL PAVING IS COMPLETE. WHEREVER POSSIBLE, A PERIMETER OF UNDISTURBED VEGETATION WILL BE MAINTAINED AROUND THE SITE UNTIL GRADING IS COMPLETE.
- 6) FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN THREE HORIZONTAL TO ONE VERTICAL (3:1); AND SEVEN (7) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THE REQUIREMENTS OF THIS SUB-PARAGRAPH DO NOT APPLY TO THOSE AREAS WHICH ARE SHOWN ON THE PLAN AND ARE CURRENTLY BEING USED FOR MATERIAL STORAGE; FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED; OR TO INTERIOR AREAS OF A SURFACE MINE SITE WHERE THE STABILIZED MATERIAL WOULD CONTAMINATE THE RECOVERABLE RESOURCE. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICH IS INCORPORATED BY REFERENCE IN REGULATION 10.
- 7) THE DEVELOPER SHALL REQUEST THAT THE APPROPRIATE INSPECTION AGENCY APPROVE WORK COMPLETED AT THE STAGES OF CONSTRUCTION SPECIFIED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AS WELL AS THE GRADING OR BUILDING PERMIT.

I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT I SHALL COMPLY WITH THE SEDIMENT CONTROL MEASURES AS SET FORTH ON THESE PLANS AND THAT A RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THIS PROJECT.

Date \_\_\_\_\_

Oxford Chase Development Inc.  
 C/O Howard Crosson  
 114 Front Street  
 Pocomoke City, Maryland 21853  
 410-957-4005  
 Email: Howard@oxfordchase.net



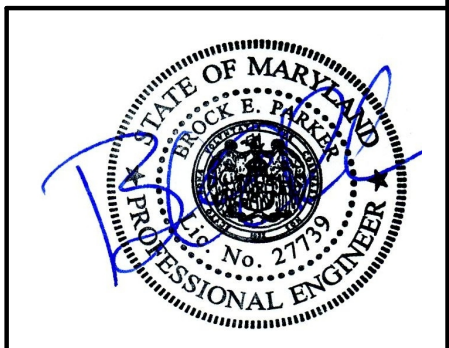
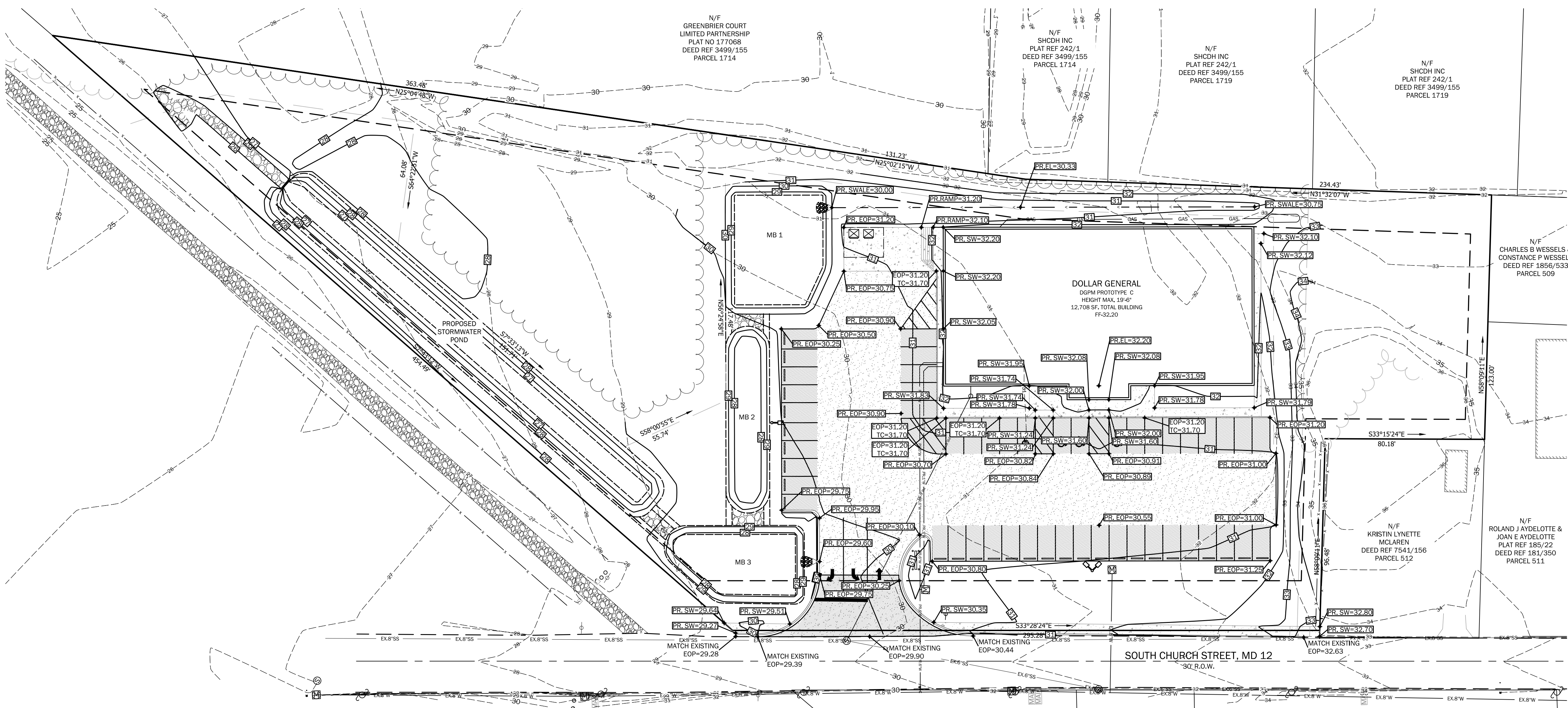
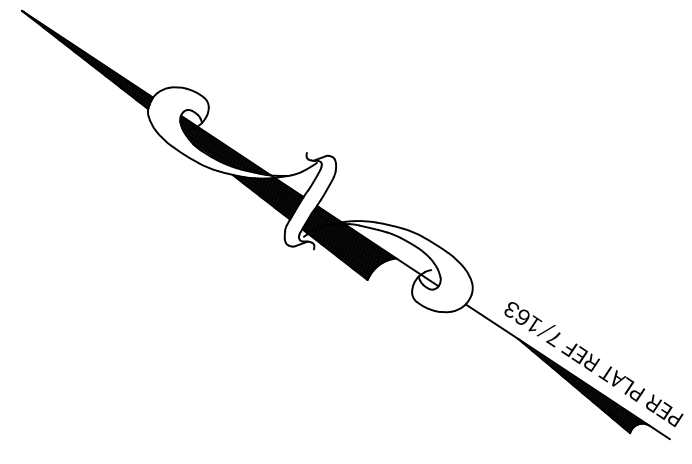
REVISED	DATE	BY

**ESC PLAN**  
**DOLLAR GENERAL**  
 Road Name: SOUTH CHURCH STREET  
 For: OXFORD CHASE DEVELOPMENT  
 SNOW HILL, MARYLAND

DATE: 12/05/23  
 SCALE: 1" = 40'  
 DRAWN BY: WJK  
 CHECKED BY: JLD  
 PROJECT NO: 201  
 SHEET NO: 513

**PARKER & ASSOCIATES**  
 CIVIL ENGINEERING INC.  
 114 Front Street  
 Pocomoke City, Maryland 21853  
 410-957-4005  
 Email: Howard@oxfordchase.net

Dec 07, 2023 8:43am



GP-1

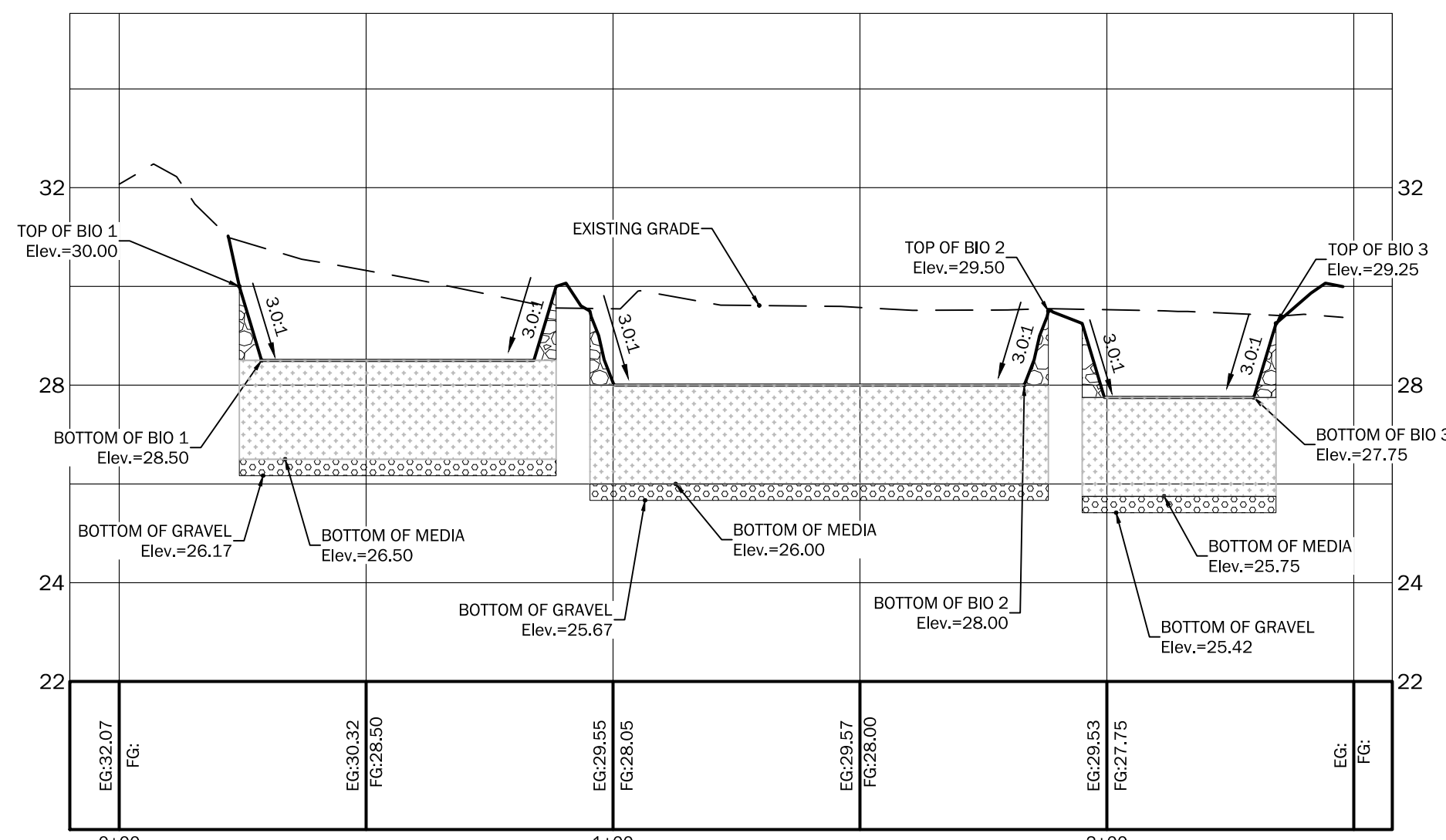
GRAPHIC SCALE  
1 inch = 30 feet

REVISIONS	DATE	BY	CHK	NO.

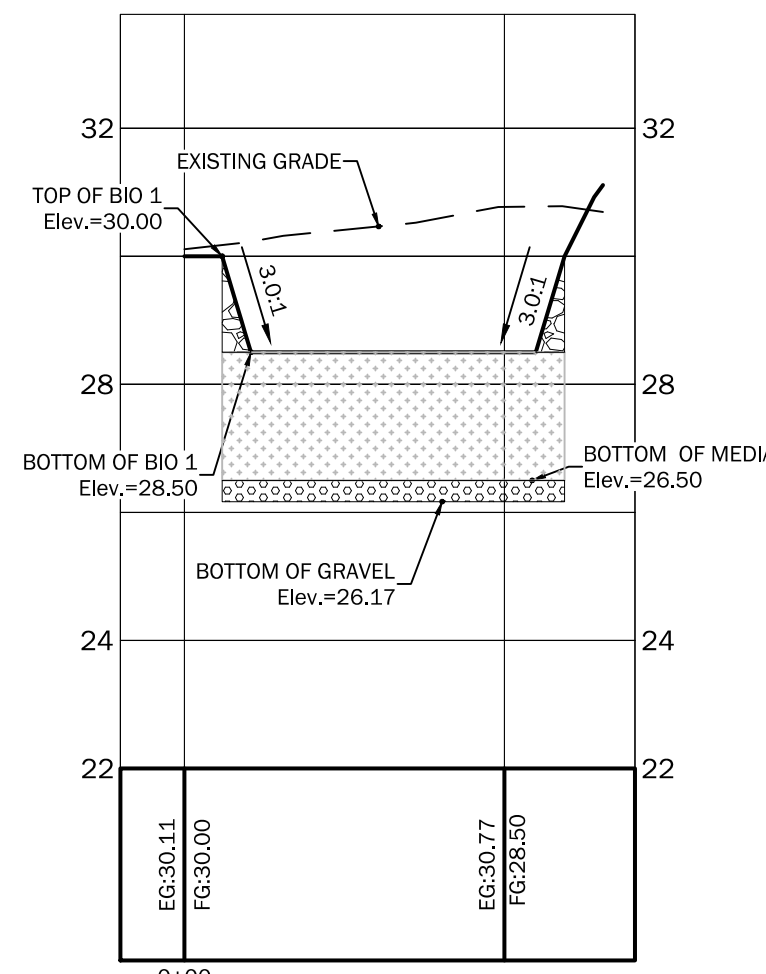
**GRADING PLAN**  
**DOLLAR GENERAL**  
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 For: OXFORD CHASE DEVELOPMENT  
 SNOWHILL, MARYLAND

DATE: 12/05/23  
 DRAWN BY: WJK  
 CHECKED BY: WJK  
 IN CHARGE: WJK  
 SCALE: 1" = 30'  
 SHEET NO.: 513 OF 513

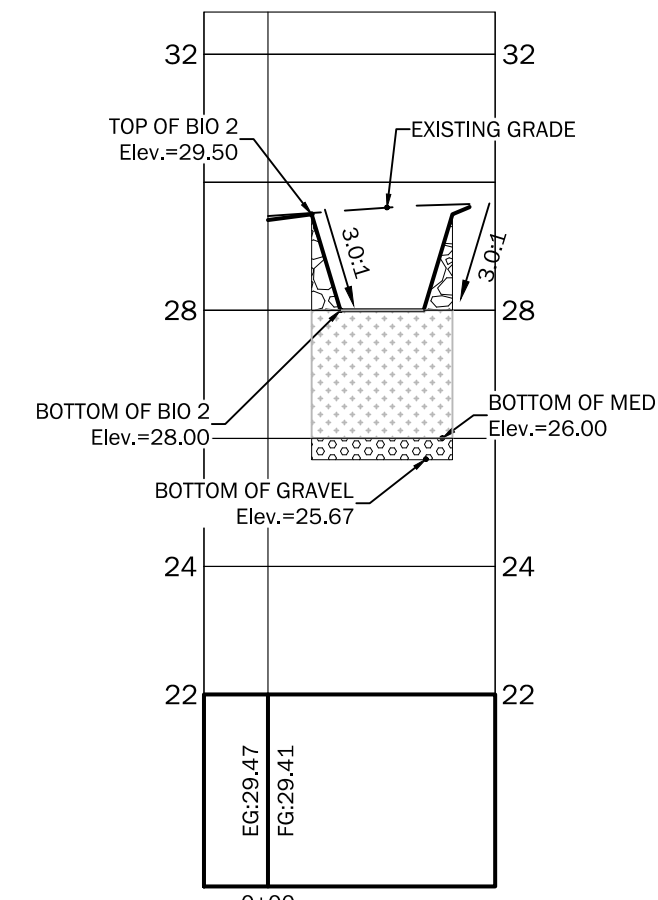




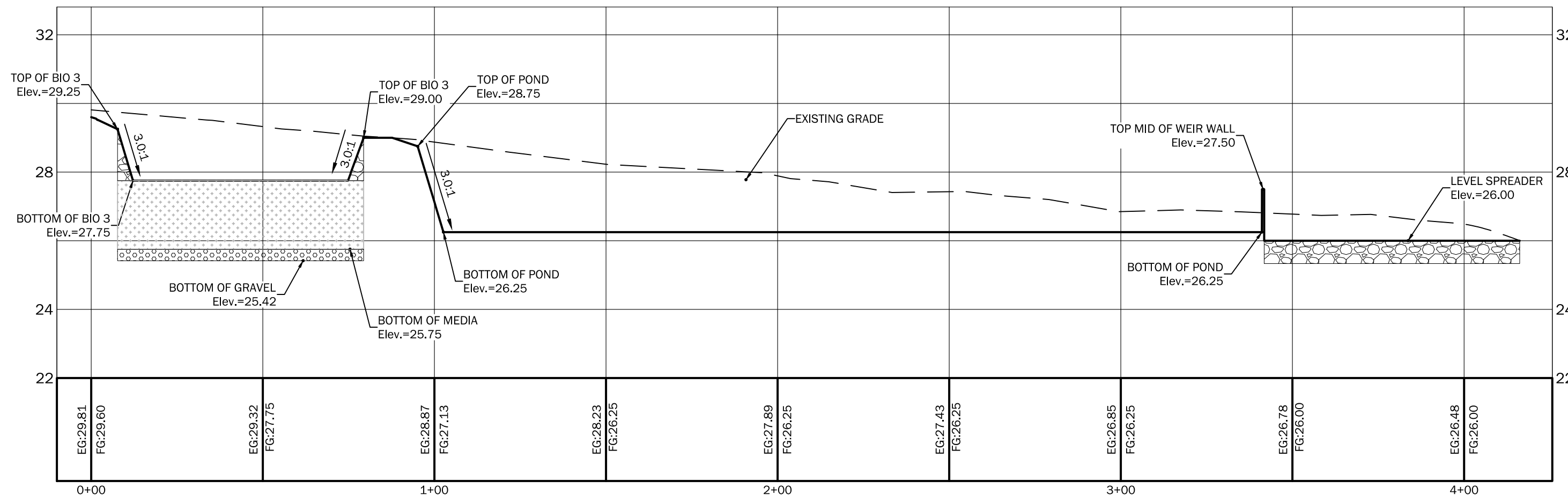
BIO 1 THRU 3  
H: 1"=30'  
V: 1"=3'



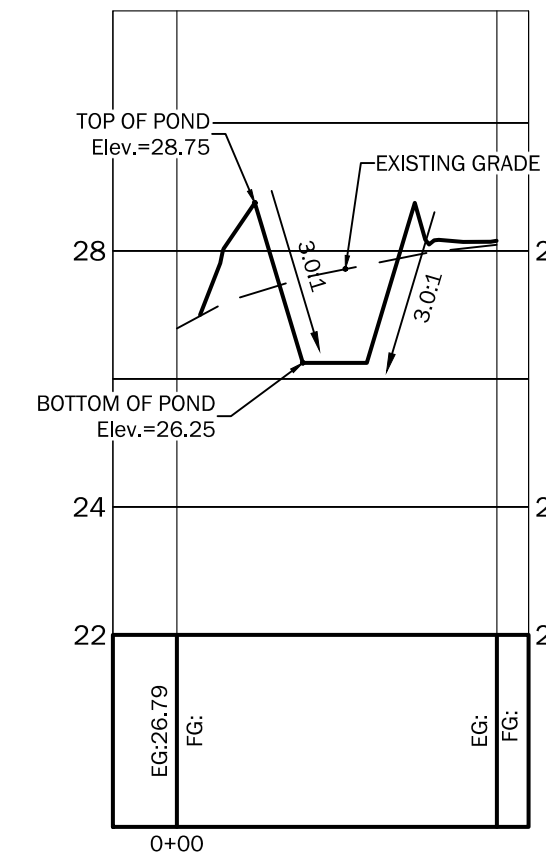
BIO 1  
H: 1"=30'  
V: 1"=3'



BIO 2  
H: 1"=30'  
V: 1"=3'



BIO 3 POND LEVEL SPREADER  
H: 1"=30'  
V: 1"=3'



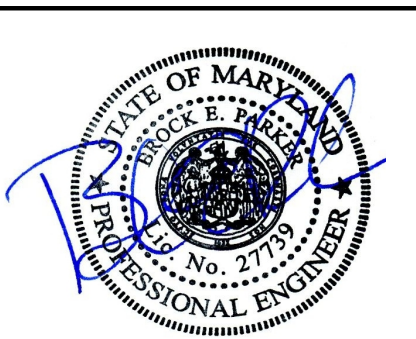
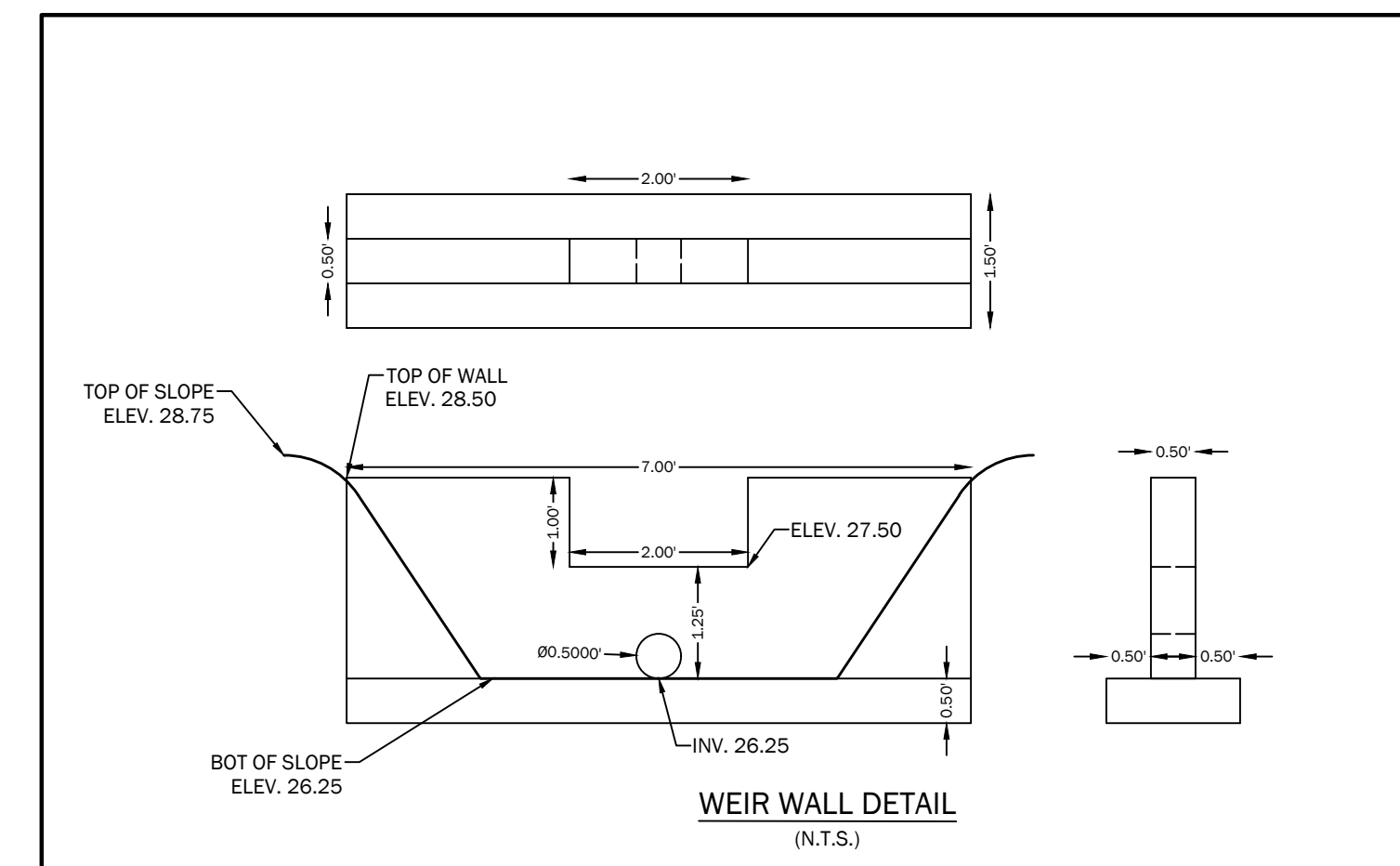
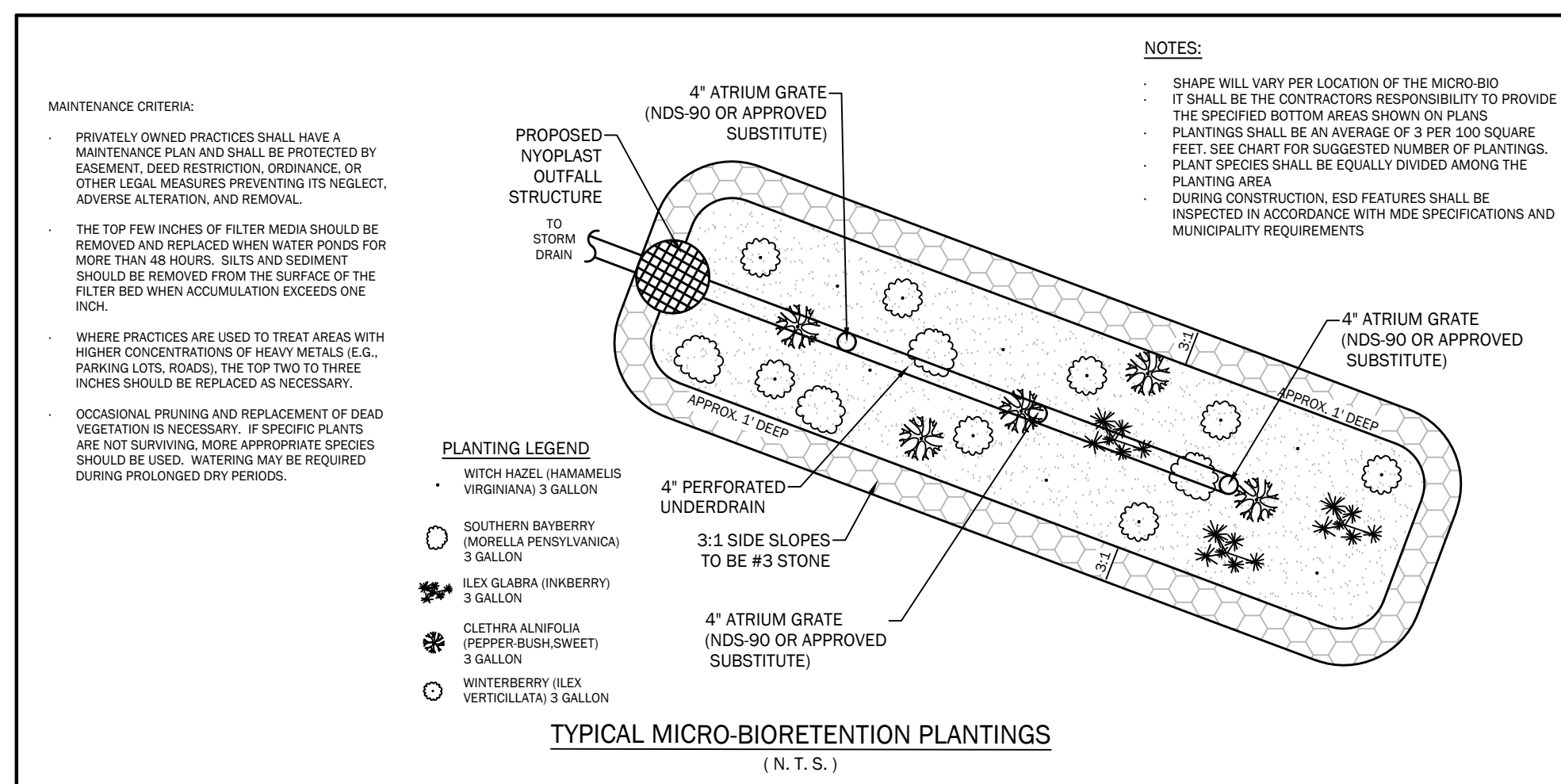
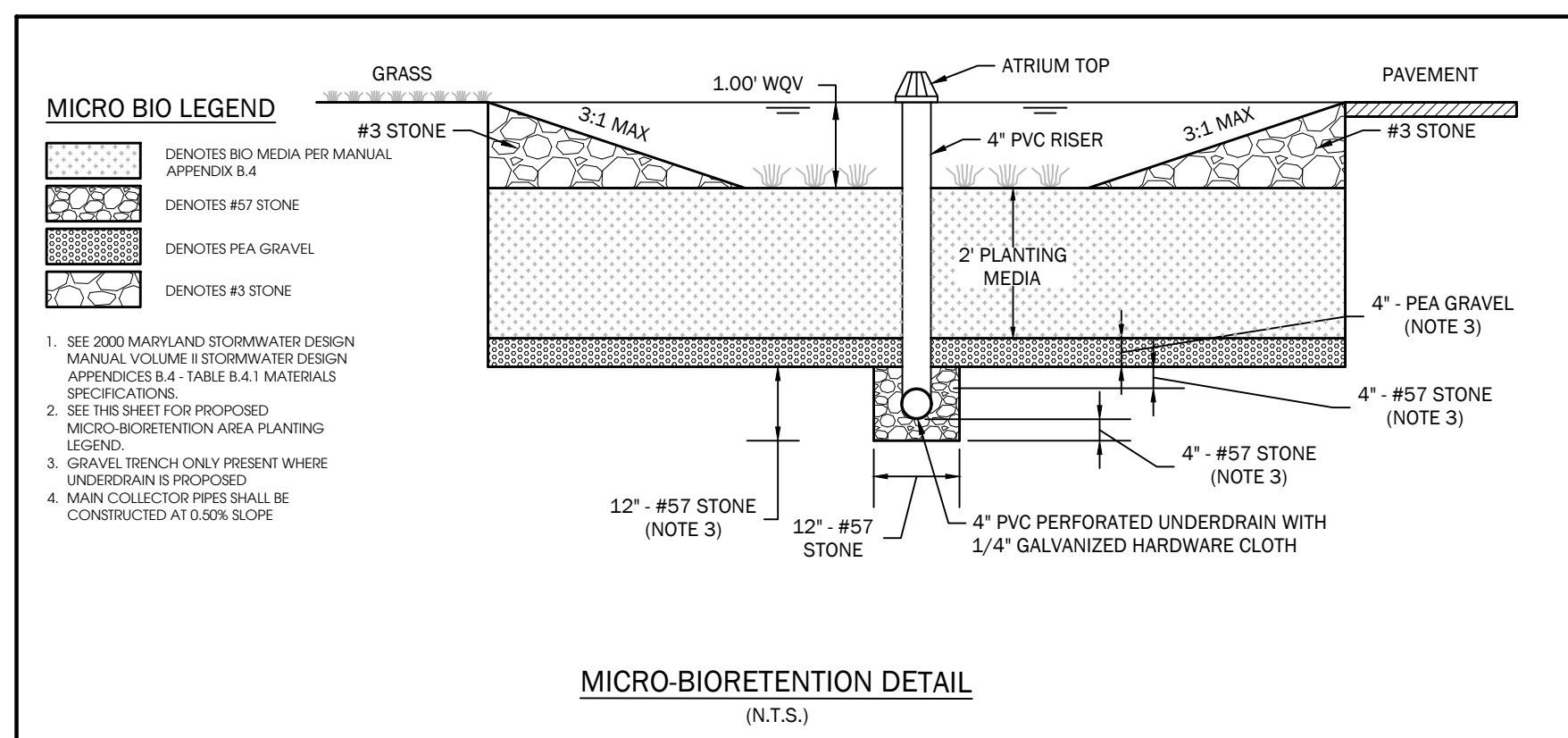
STORMWATER POND  
H: 1"=30'  
V: 1"=3'

Typical Maintenance Tasks for Bioretention Practices	
Upon establishment	<ul style="list-style-type: none"> <li>For the first 6 months following construction, the Micro Bio should be inspected at least twice after storm events that exceed 1/2 inch of rainfall. Conduct any needed repairs or stabilization.</li> <li>Inspectors should look for bare or eroding areas in the contributing drainage area or around the bioretention areas, and make sure they are immediately stabilized with grass cover.</li> <li>One-time, spot fertilization may be needed for initial plantings.</li> <li>Watering is needed once a week during the first 2 months, and then as needed during first growing season (April-October), depending on rainfall.</li> <li>Remove and replace dead plants. Up to 10% of the plant stock may die off in the first year, so construction contracts should include a care and replacement warranty to ensure that vegetation is properly established and survives during the first growing season following construction.</li> </ul>
At least 4 times per year	<ul style="list-style-type: none"> <li>Mow grass filter strips and bioretention with turf cover</li> <li>Check curb cuts and inlets for accumulated grit, leaves, and debris that may block inflow</li> </ul>
Twice during growing season	<ul style="list-style-type: none"> <li>Spot weed, remove trash, and rake the mulch</li> <li>Hand remove weeds from landscape rocks</li> </ul>
Annually	<ul style="list-style-type: none"> <li>Conduct a maintenance inspection</li> <li>Supplement mulch in void areas to maintain a 2 inch layer</li> <li>Prune trees and shrubs</li> <li>Remove sediment in pretreatment cells and inflow points</li> </ul>
Once every 2-3 years	<ul style="list-style-type: none"> <li>Remove sediment in pretreatment cells and inflow points</li> <li>Remove and replace the mulch layer</li> </ul>
As needed	<ul style="list-style-type: none"> <li>Add reinforcement planting to maintain desired vegetation density</li> <li>Remove invasive plants using recommended control methods</li> <li>Remove any dead or diseased plants, replace in kind</li> <li>Stabilize the contributing drainage area to prevent erosion</li> </ul>

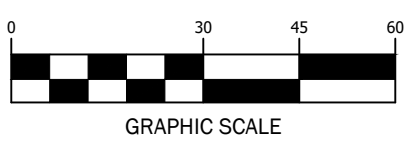
- TYPICAL MAINTENANCE TASK FOR STORMWATER POND
- MOW OF EMBANKMENT TO KEEP VEGETATION DOWN (SEMI ANNUALLY)
  - REPAIR AND ROTATE RIP-RAP DISSIPATORS (AS NEEDED)
  - REPAIR WASHOUTS TO AVOID SEDIMENT DISCHARGE (AS NEEDED)
  - CLEAN DEBRIS FROM CONTROL STRUCTURE AND TRASH RACKS TO KEEP PIPES FLOWING (AS NEEDED)
  - REMOVAL OF EXCESS SEDIMENT DEPOSITS TO MAINTAIN STORAGE VOLUME (AS NEEDED)

**CONSTRUCTION NOTE FOR MICRO BIO-RETENTION**

ALL CONSTRUCTED MICRO BIO-RETENTION SHALL BE SCARIFIED 1' BELOW THE BOTTOM OF BASE OF THE MICRO BIO-RETENTION. MICRO BIO-RETENTION SHALL BE PROTECTED AND MAINTAINED TO PREVENT COMPRESSION OF SOILS.



GP-2



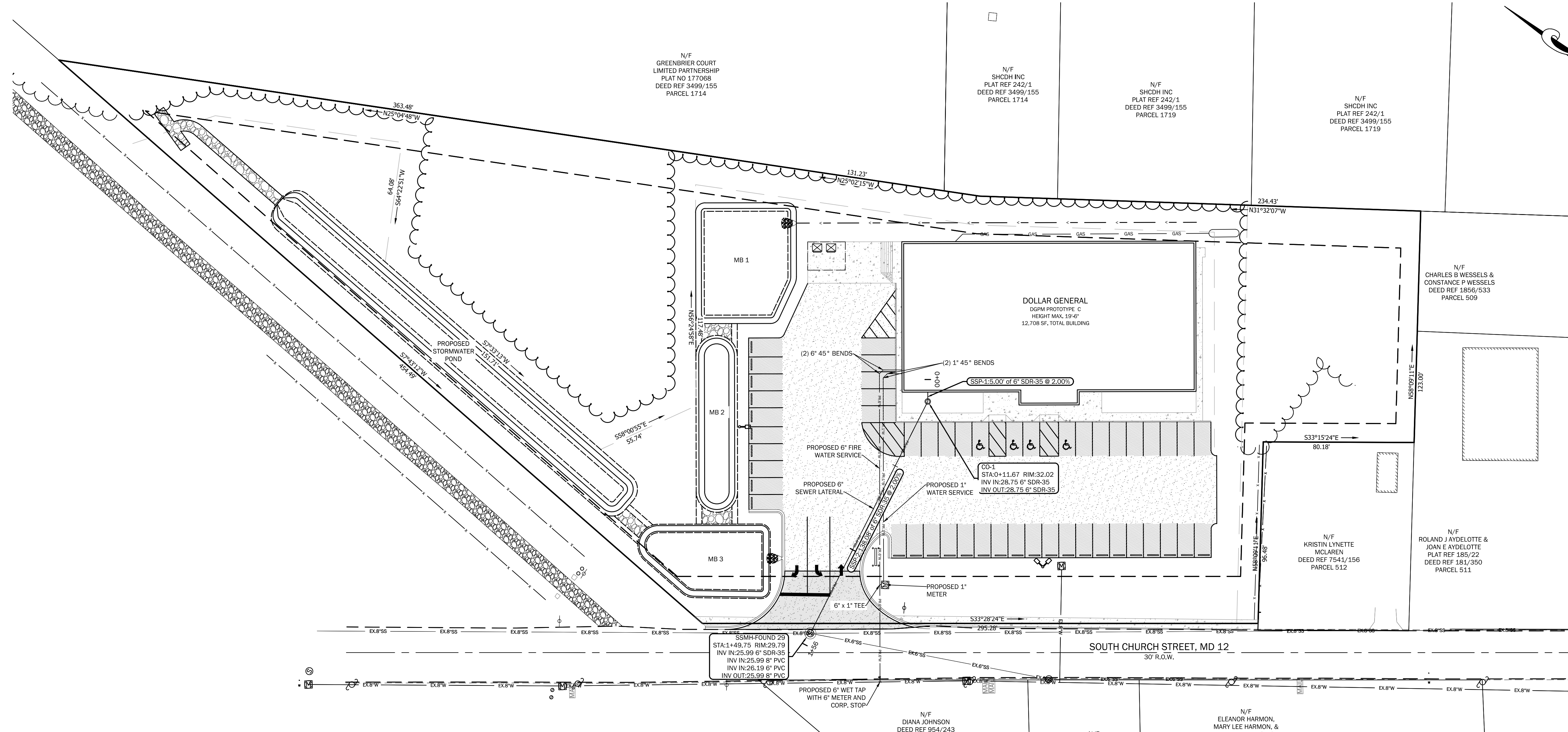
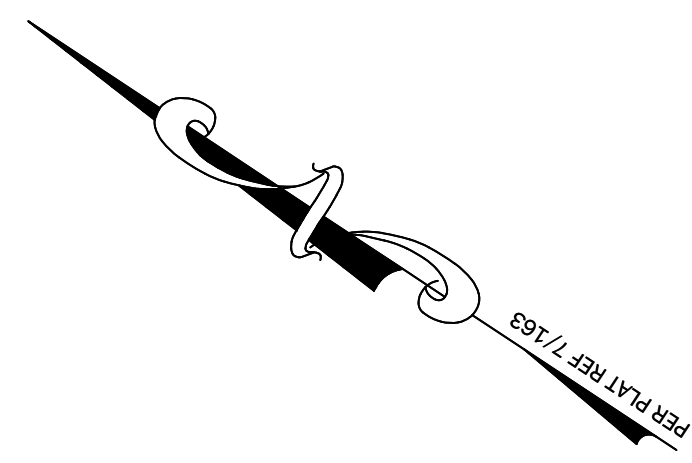
REVISIONS	DATE	BY	CHK.

**SWM DETAILS**  
**DOLLAR GENERAL**

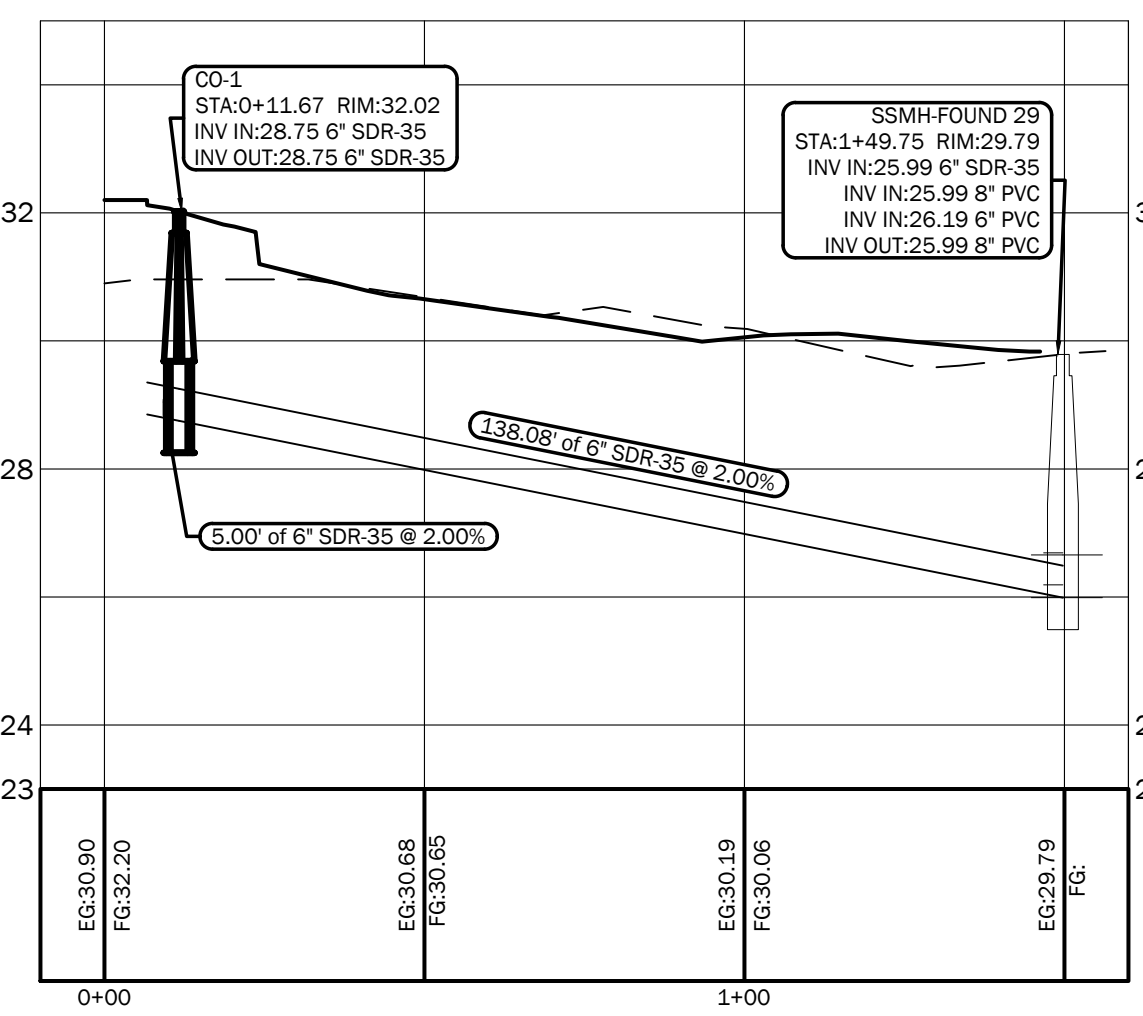
Road Name: SOUTH CHURCH STREET  
For: OXFORD CHASE DEVELOPMENT  
SNOWHILL, MARYLAND

DATE: 12/05/23  
SCALE: 1" = 30'  
DWG NO: PS GRADING.DWG  
DWG TITLE: SWM DETAILS  
DWG MAN: WLK  
DWG DATE: 12/05/23  
DWG NO: 201  
DWG DATE: 17/24  
DWG NO: 513

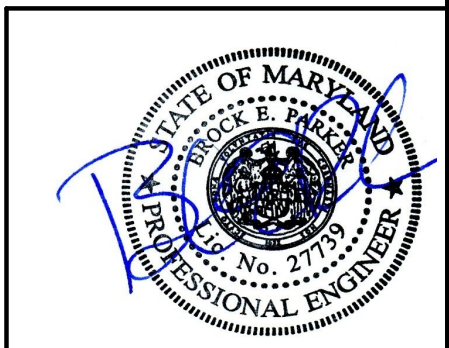
**PARKER & ASSOCIATES**  
CIVIL ENGINEERING  
PLANNING



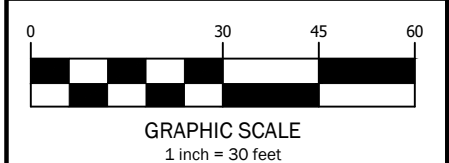
\* BUILDING SEWER TO BE 6" SDR-35 PVC PIPE  
 \* WATER TO BE 6" DR IS, C-900 PIPE  
 \* WATER SERVICE TO BE 1" SDR 9 HDPE



SEWER  
 H: 1"=30'  
 V: 1"=3'



UP-1



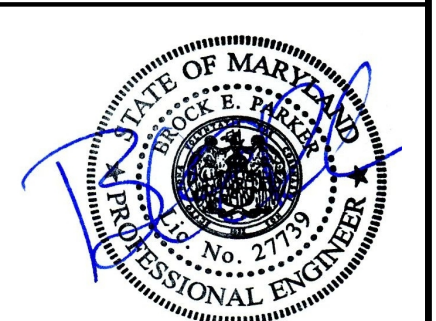
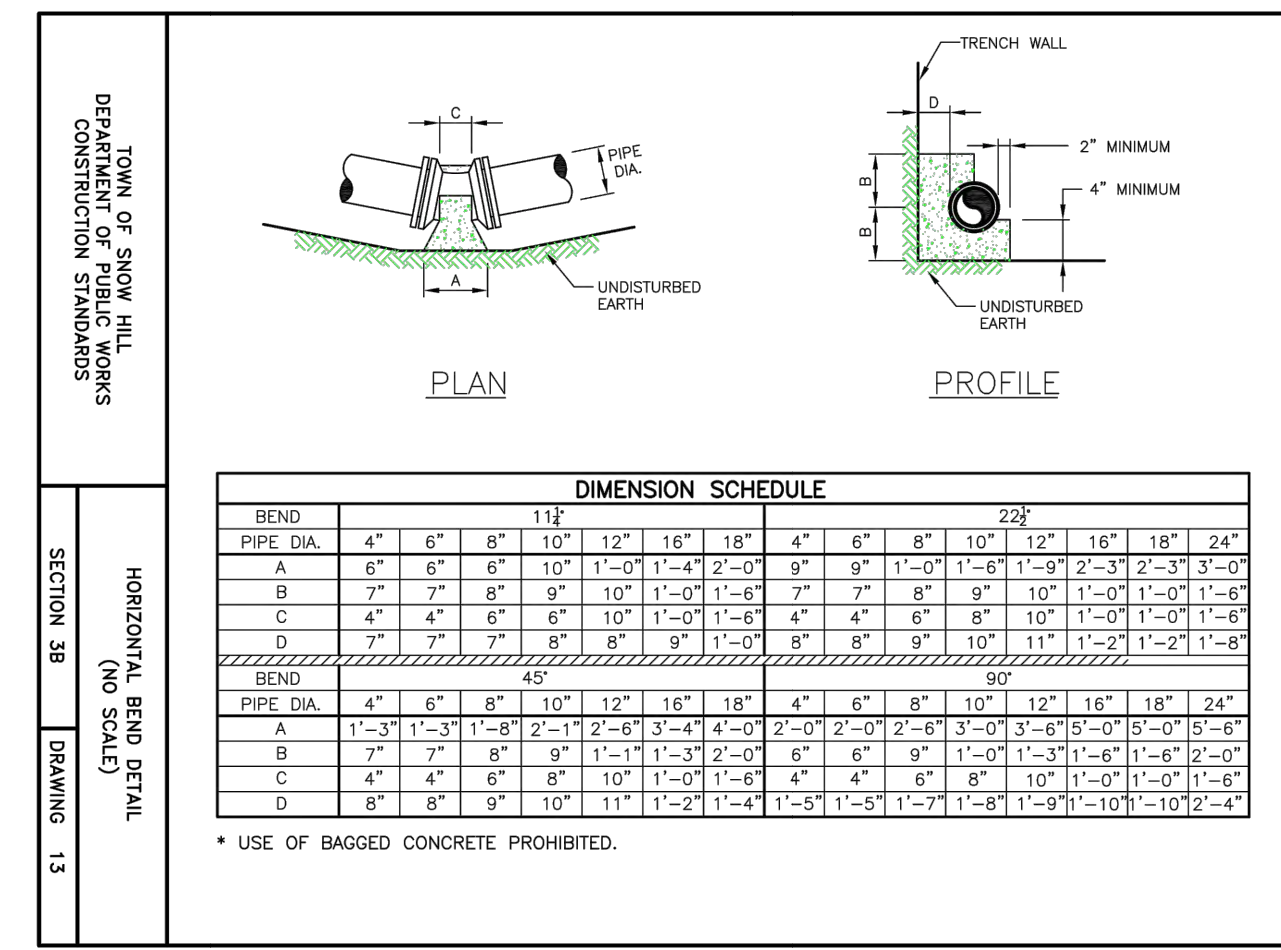
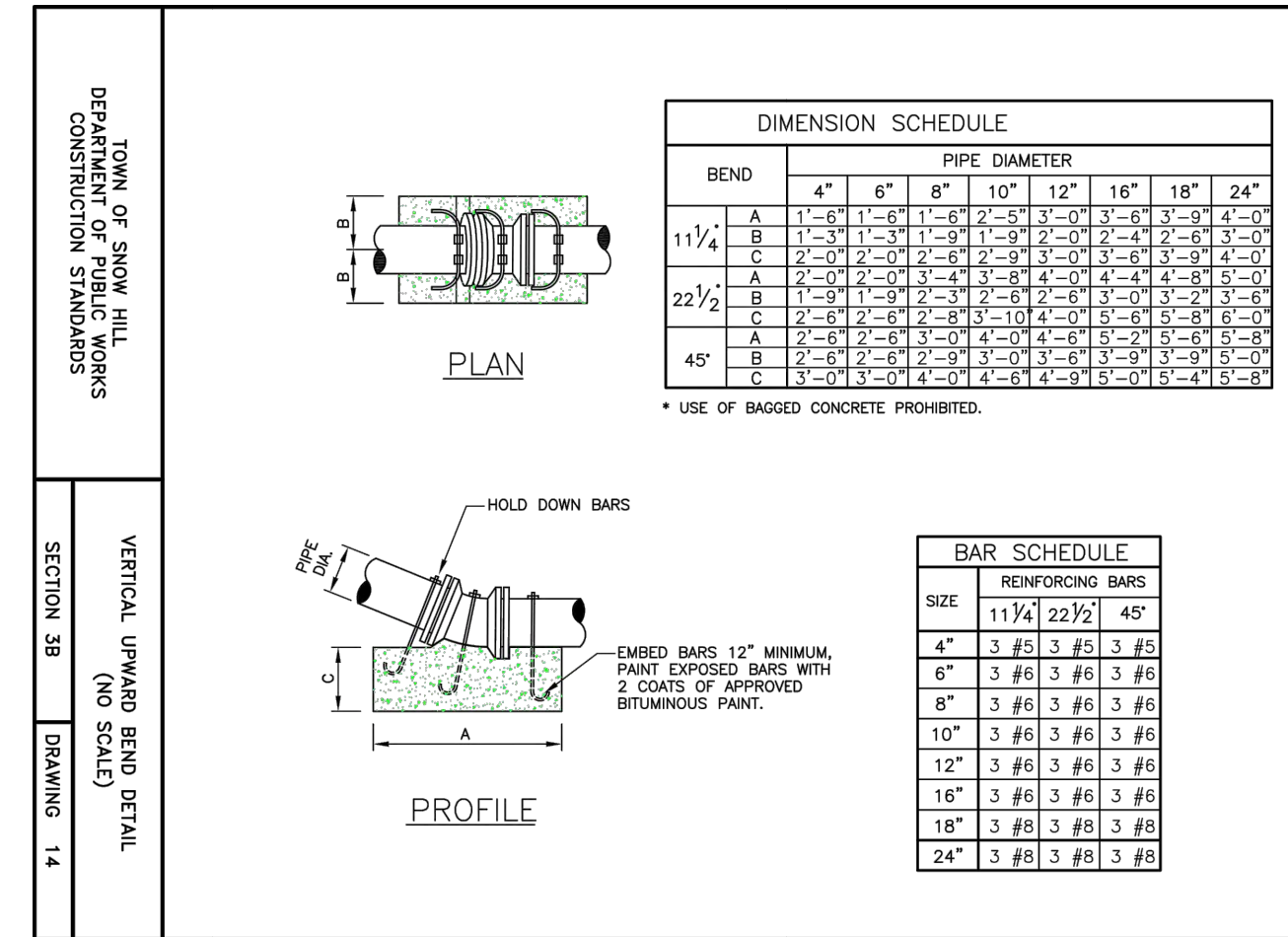
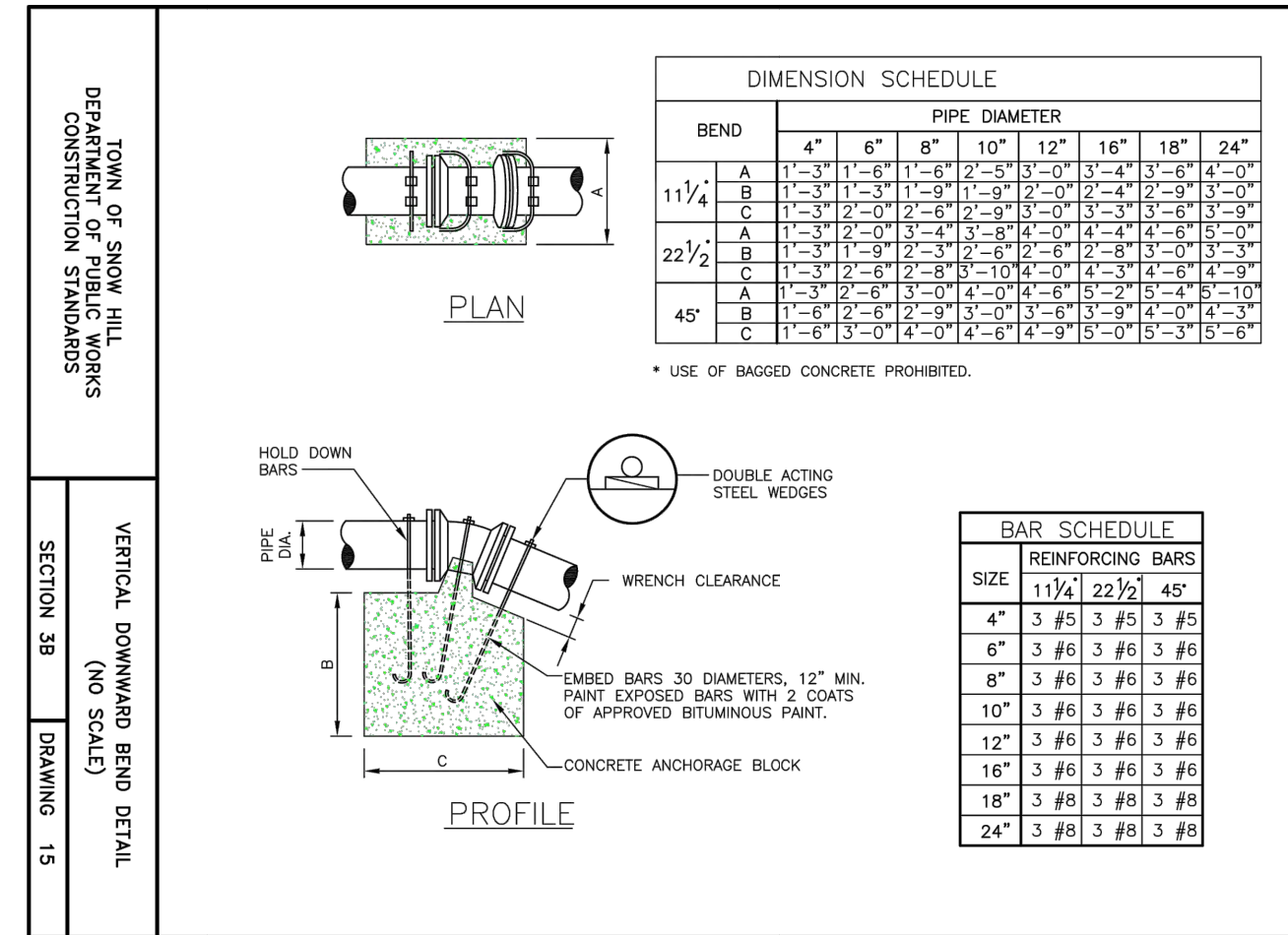
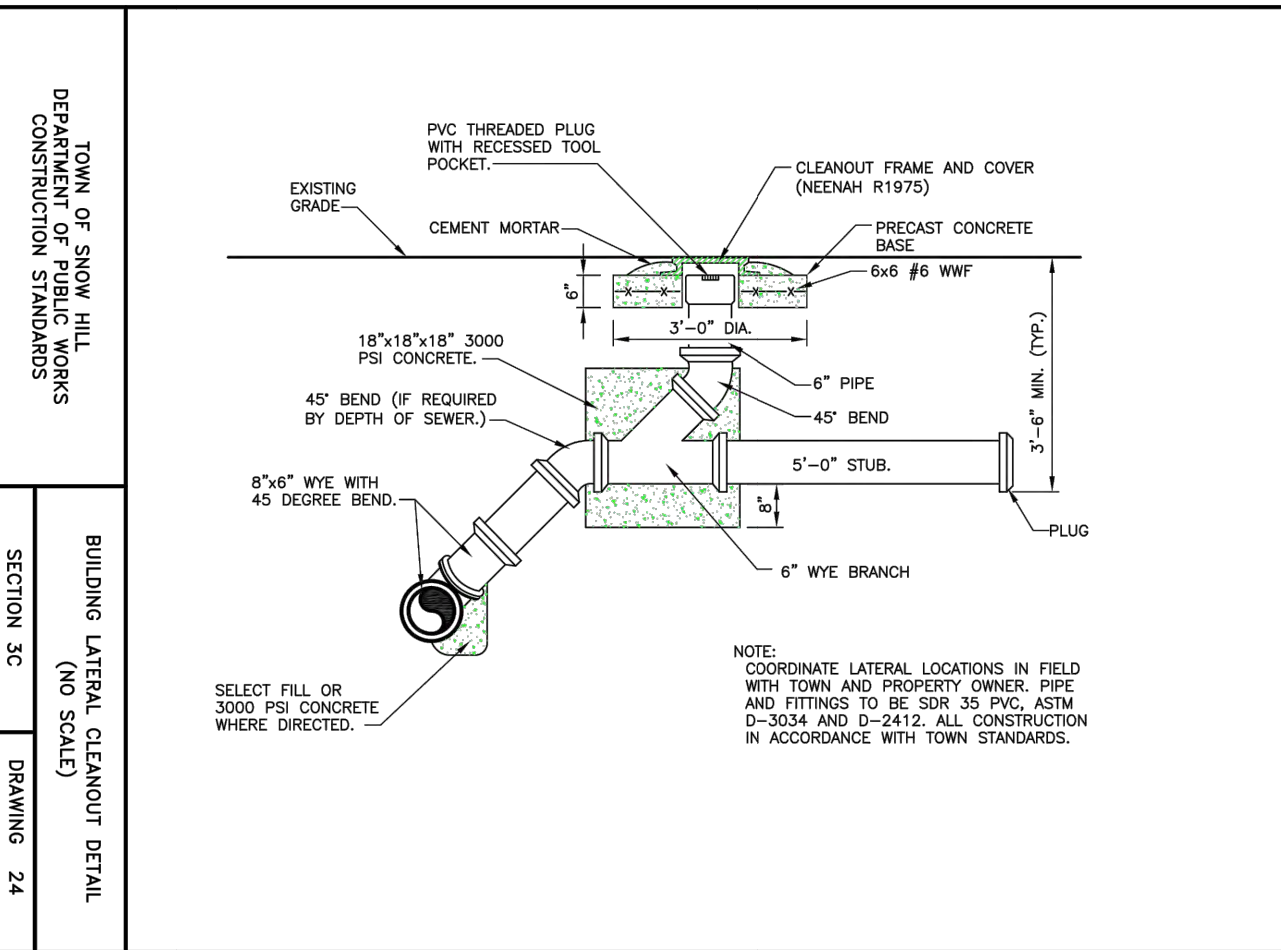
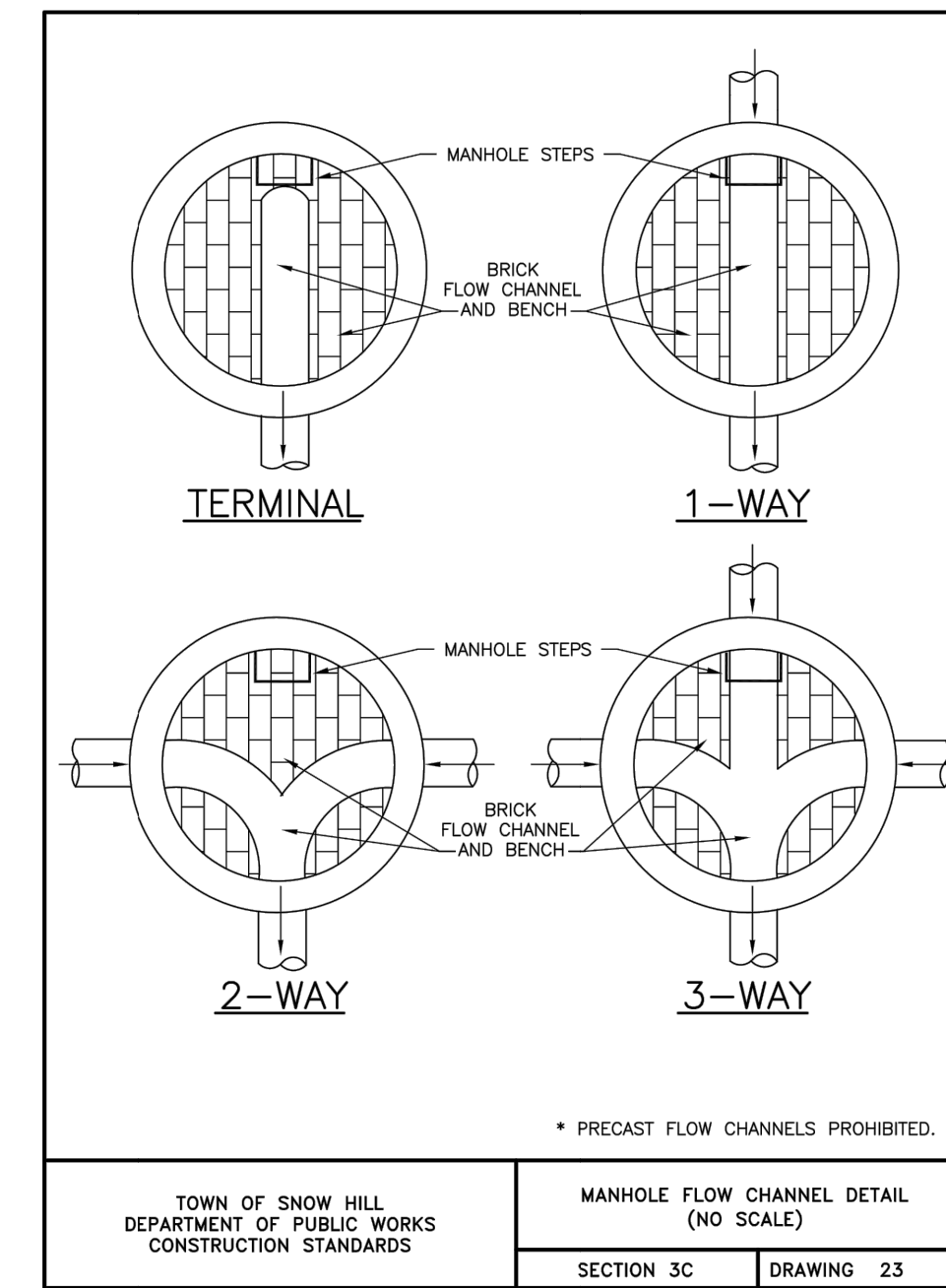
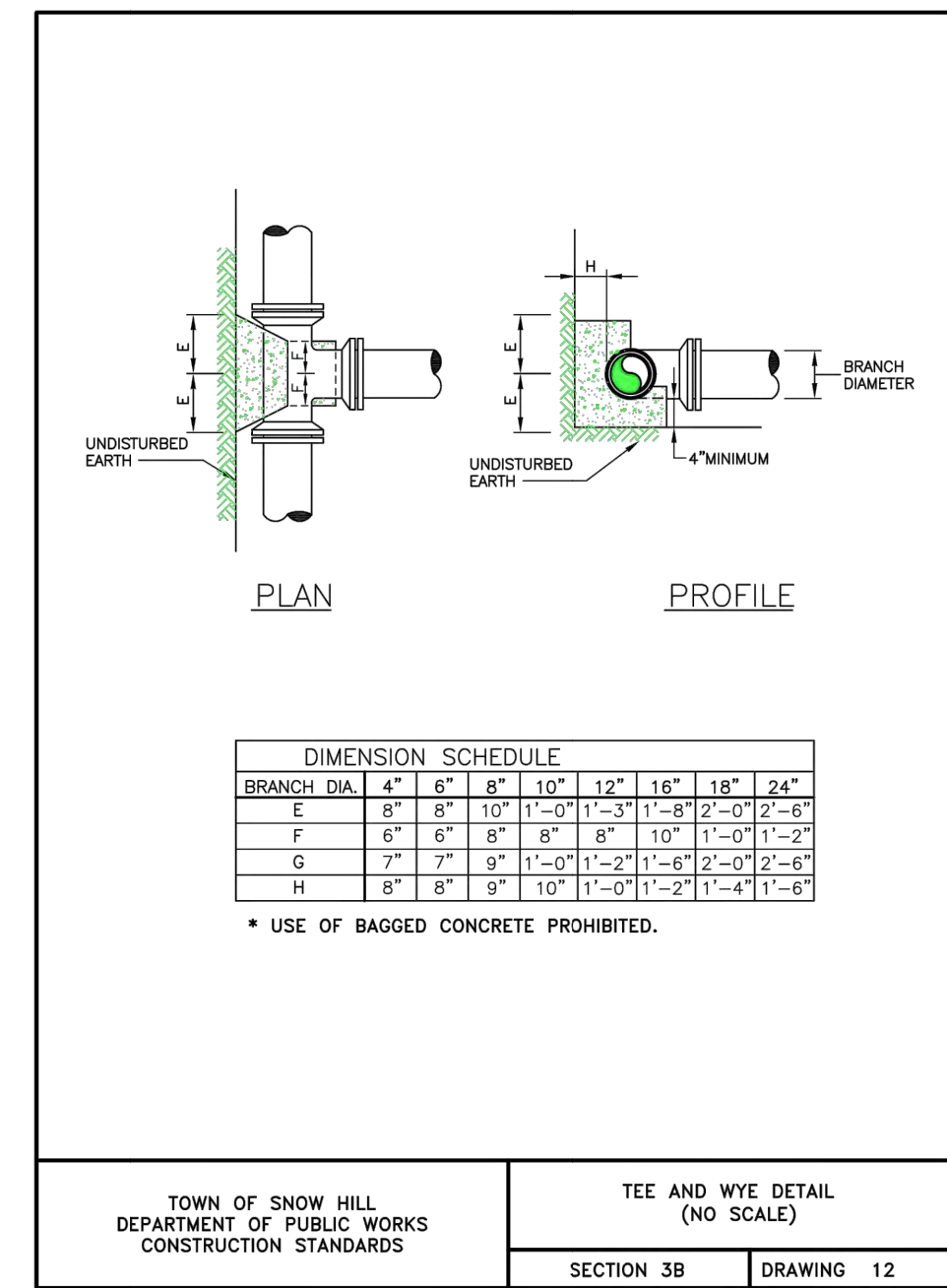
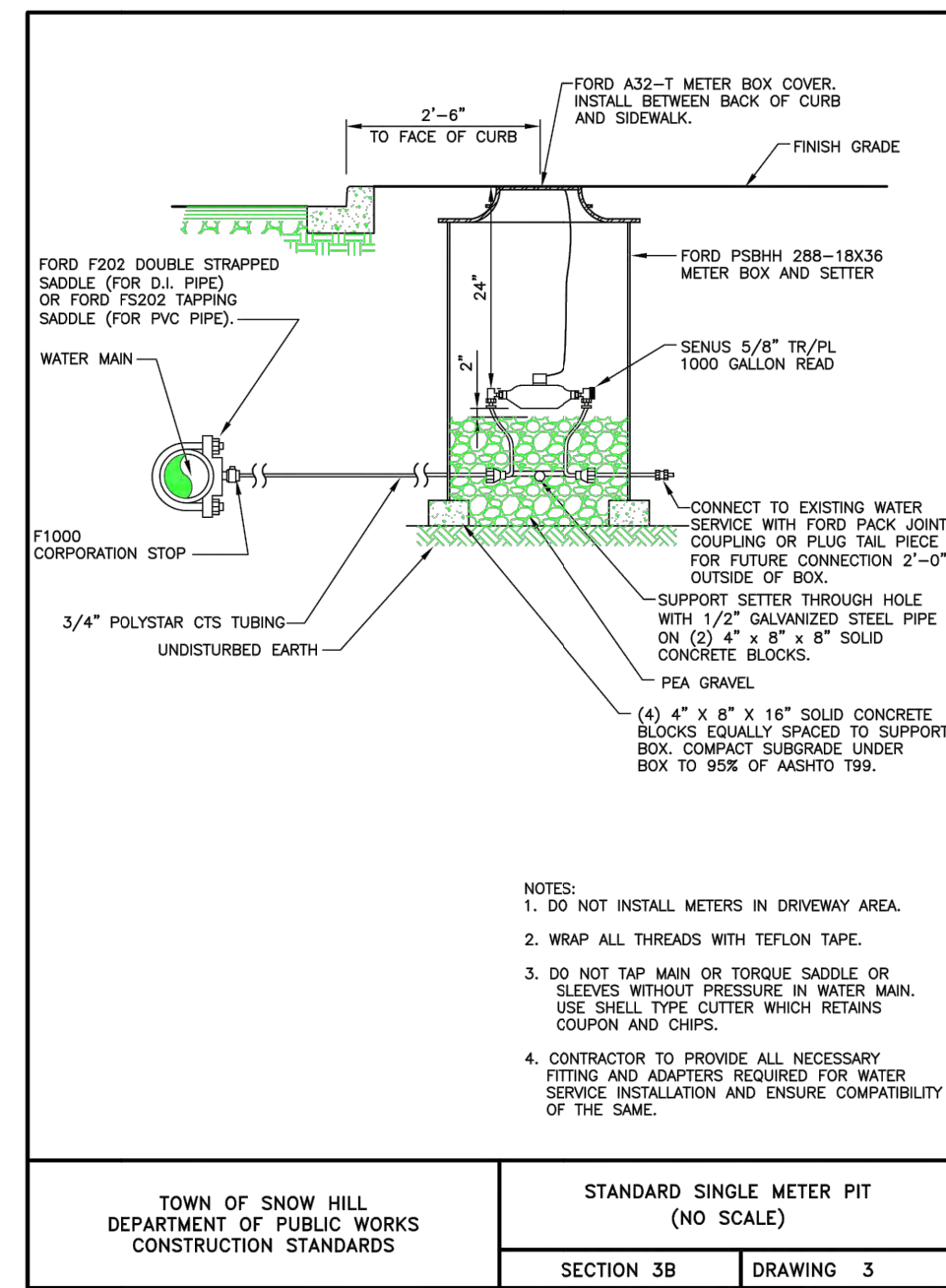
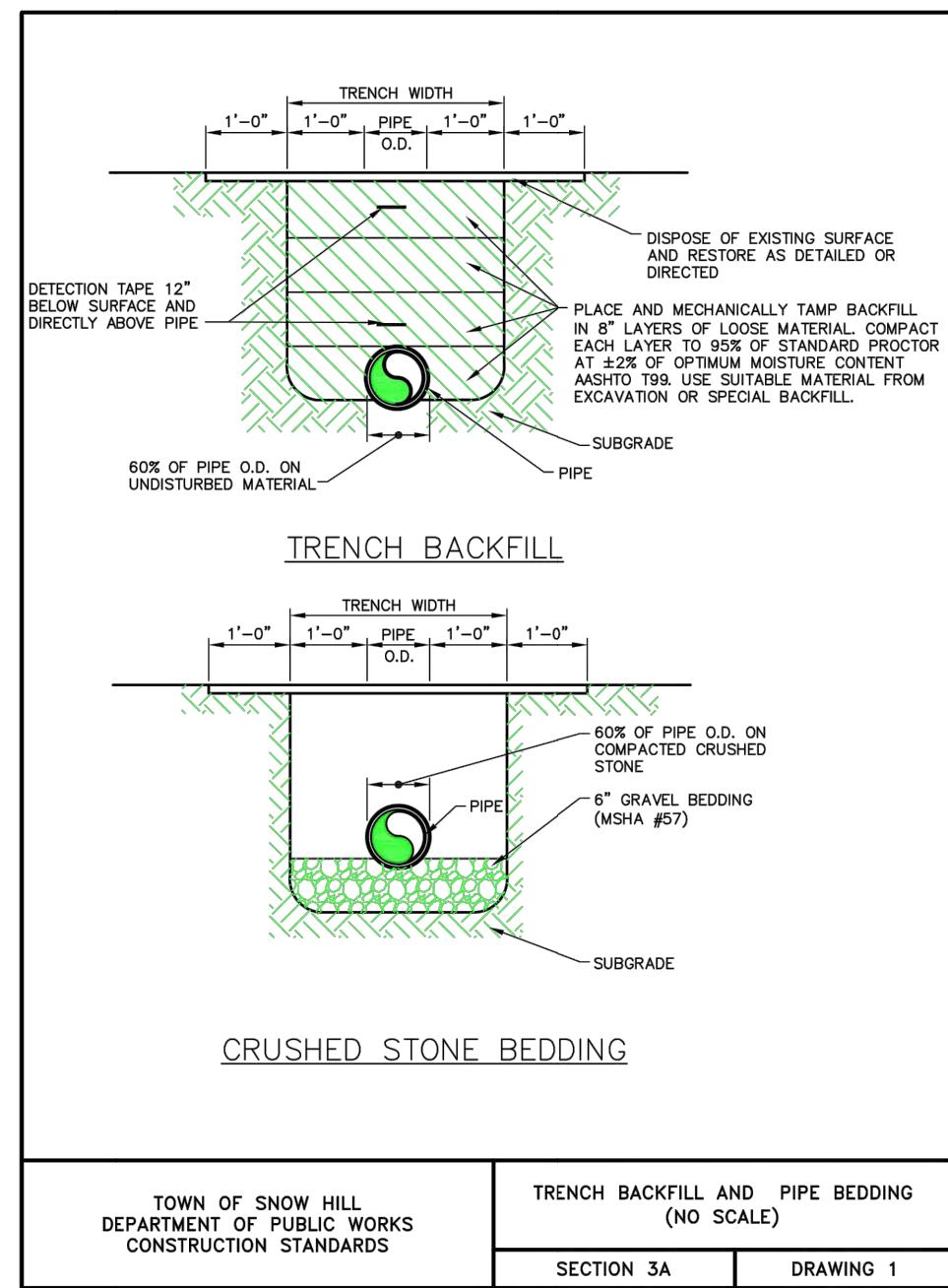
REV.	DATE	BY	CHK.	DESCRIPTION

UTILITY

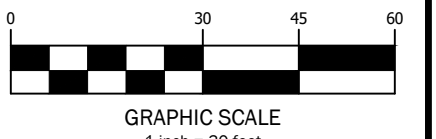
UTILITY PLAN	DATE	12/05/23	DRAWN	WLK	SCALE	1" = 30'
DOLLAR GENERAL	PROJECT	201	DATE	17/24	PARCEL	513
Road Name: SOUTH CHURCH STREET	FOR	OXFORD CHASE DEVELOPMENT				
For: SNOWHILL, MARYLAND						







UP-2



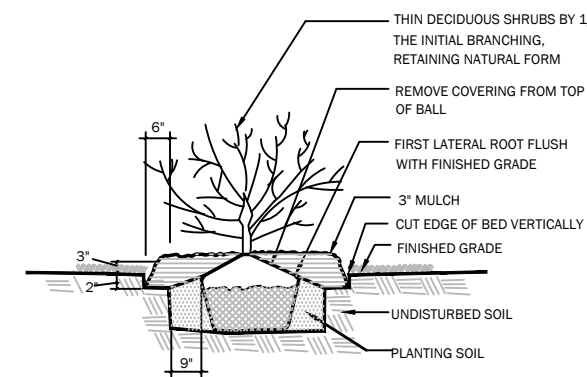
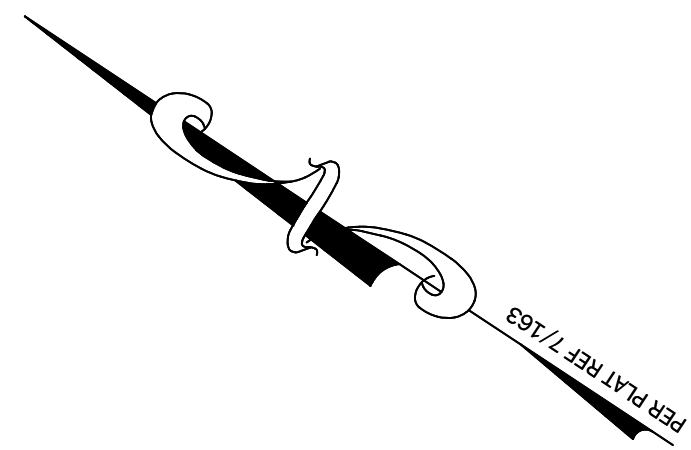
REVISIONS	DATE	BY	DESCRIPTION

SCALE	1" = 30'
DATE	12/05/23
DESIGNER	DLW/SMAN
CHECKER	WJK
DATE	12/05/23
PROJECT	201
SHEET	513

**UTILITY DETAILS**  
**DOLLAR GENERAL**  
Road Name: SOUTH CHURCH STREET  
For: OXFORD CHASE DEVELOPMENT  
SNOWHILL, MARYLAND

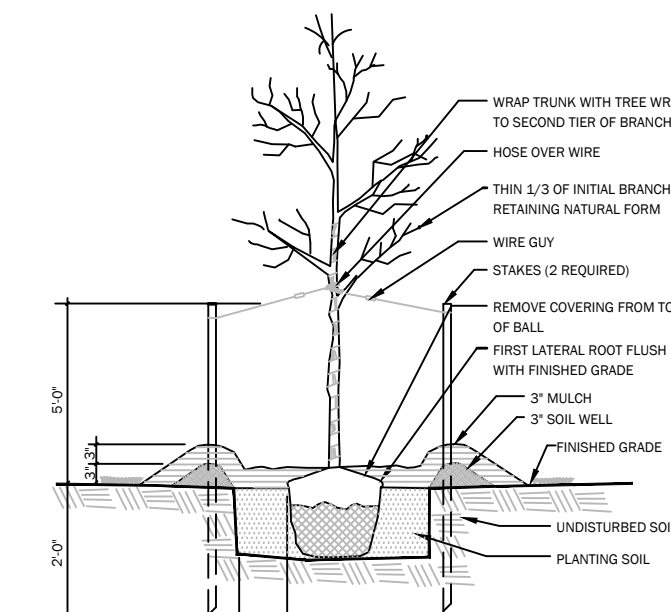
1" = 30'

DATE: 12/05/23  
DESIGNER: DLW/SMAN  
CHECKER: WJK  
SHEET: 513



**SHRUB DETAIL**

NOT TO SCALE



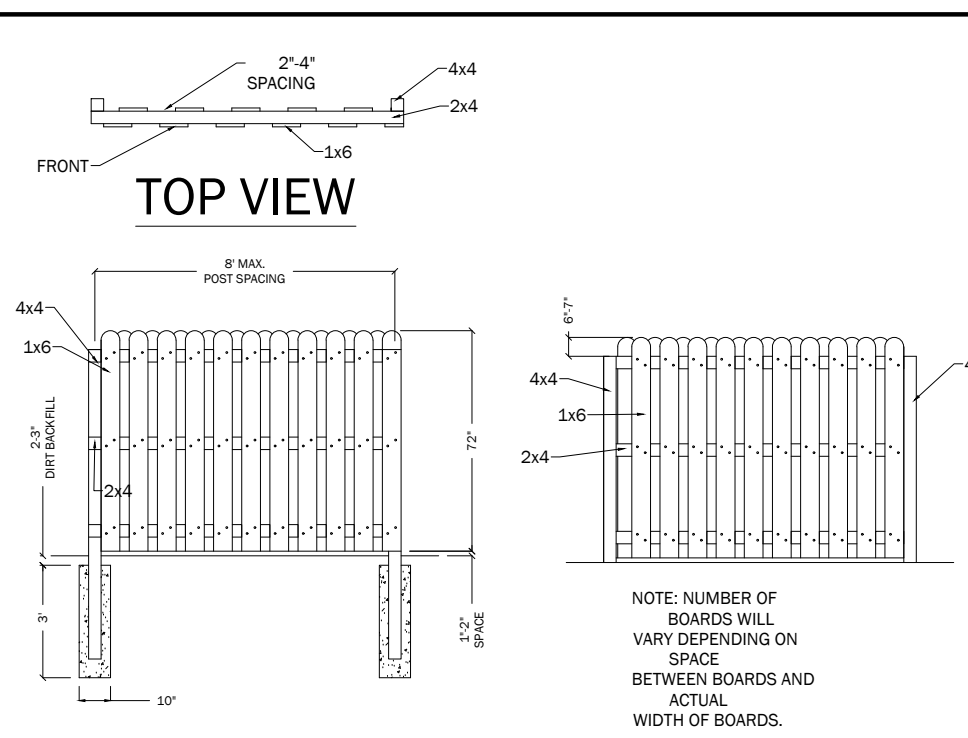
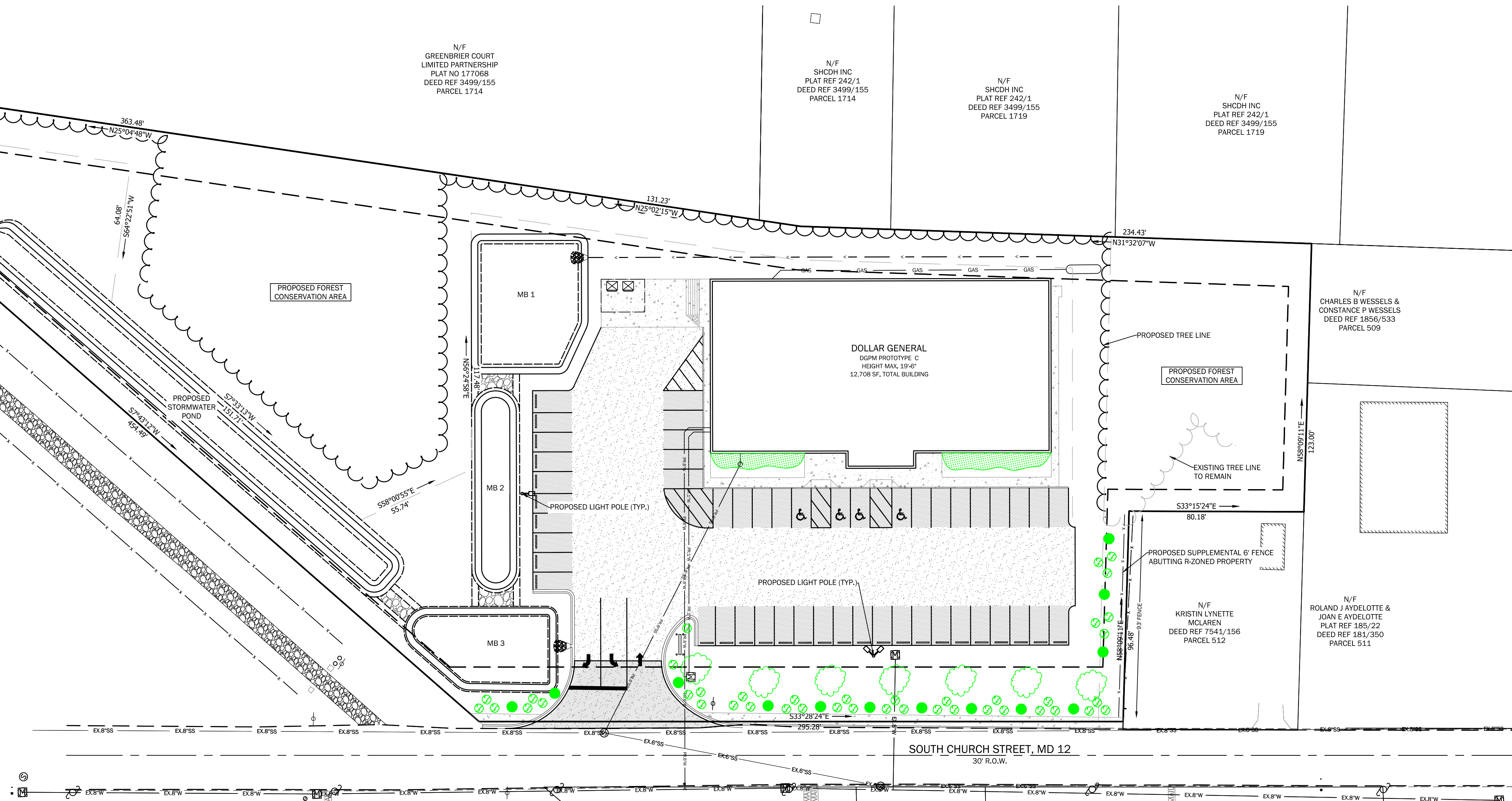
**DECIDUOUS TREE DETAIL**

NOT TO SCALE

**LANDSCAPE LEGEND:**

- ACER GINNALA - AMUR MAPLE - 7 TOTAL
- ROSA KNOCK OUT - ROSE BUSH - 41 TOTAL
- ILEX GLABRA - INKBERRY HOLLY - 13 TOTAL
- FOUNDATION PLANTINGS - TO CONSIST OF A MIXTURE OF ANNUAL AND PERENNIAL FLOWERS, SMALL BOXWOOD SHRUBS, GRASSES AND HOSTAS

1. ALL PLANT MATERIALS SHALL BE NURSERY GROWN AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
2. CONTRACTOR SHALL CONTACT "MISS UTILITY" AND SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA PRIOR TO INSTALLATION OF PLANT MATERIAL.
3. ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
4. THE ROOT BALL OF ANY TREE SHALL NOT BE PLANTED WITHIN 10' OF ANY WATER OR SEWER LINE. NO PLANTINGS SHALL BE PLANTED DIRECTLY ON TOP OF ANY UTILITY.

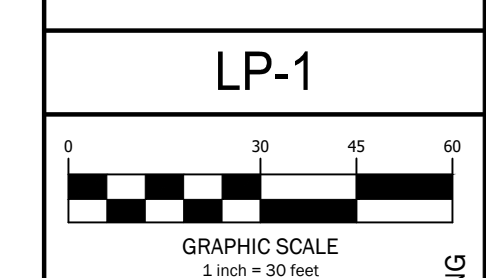
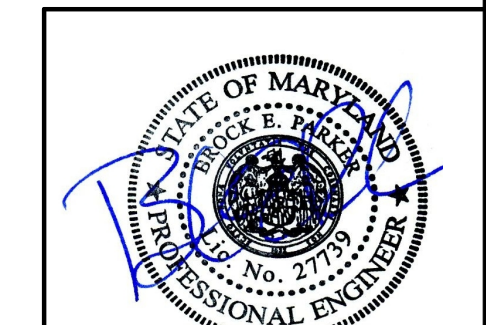


**FRONT VIEW**      **REAR VIEW**

**STRAIGHT SHADOWBOX PRIVACY FENCING**  
TREATED PINE (USE GALVANIZED NAILS FOR FASTENING)

DESIGNER NOTE: IF AN UNOBSTRUCTED VIEW EXISTS OF A RESIDENTIAL BUILDING BETWEEN TENANT PARCEL AND ADJACENT PARCEL, THEN LESSOR SHALL CONSTRUCT A PRIVACY FENCE IN ACCORDANCE WITH TENANT'S CRITERIA SET PLANS AND ANY APPLICABLE GOVERNMENT REQUIREMENTS.

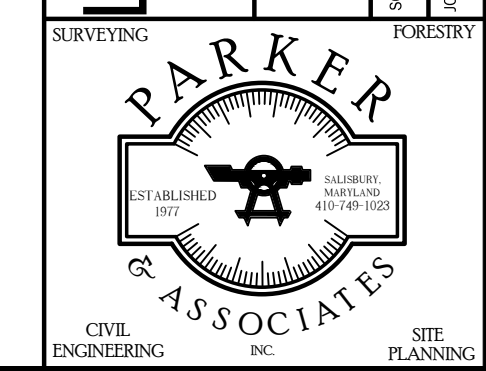
**PRIVACY FENCE DETAIL**



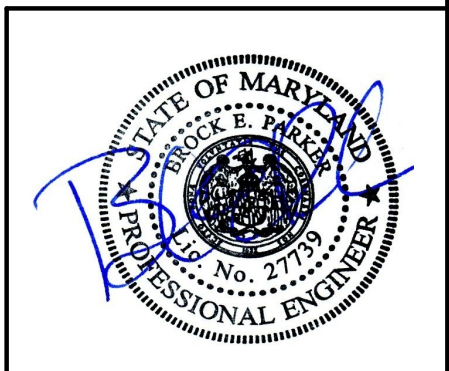
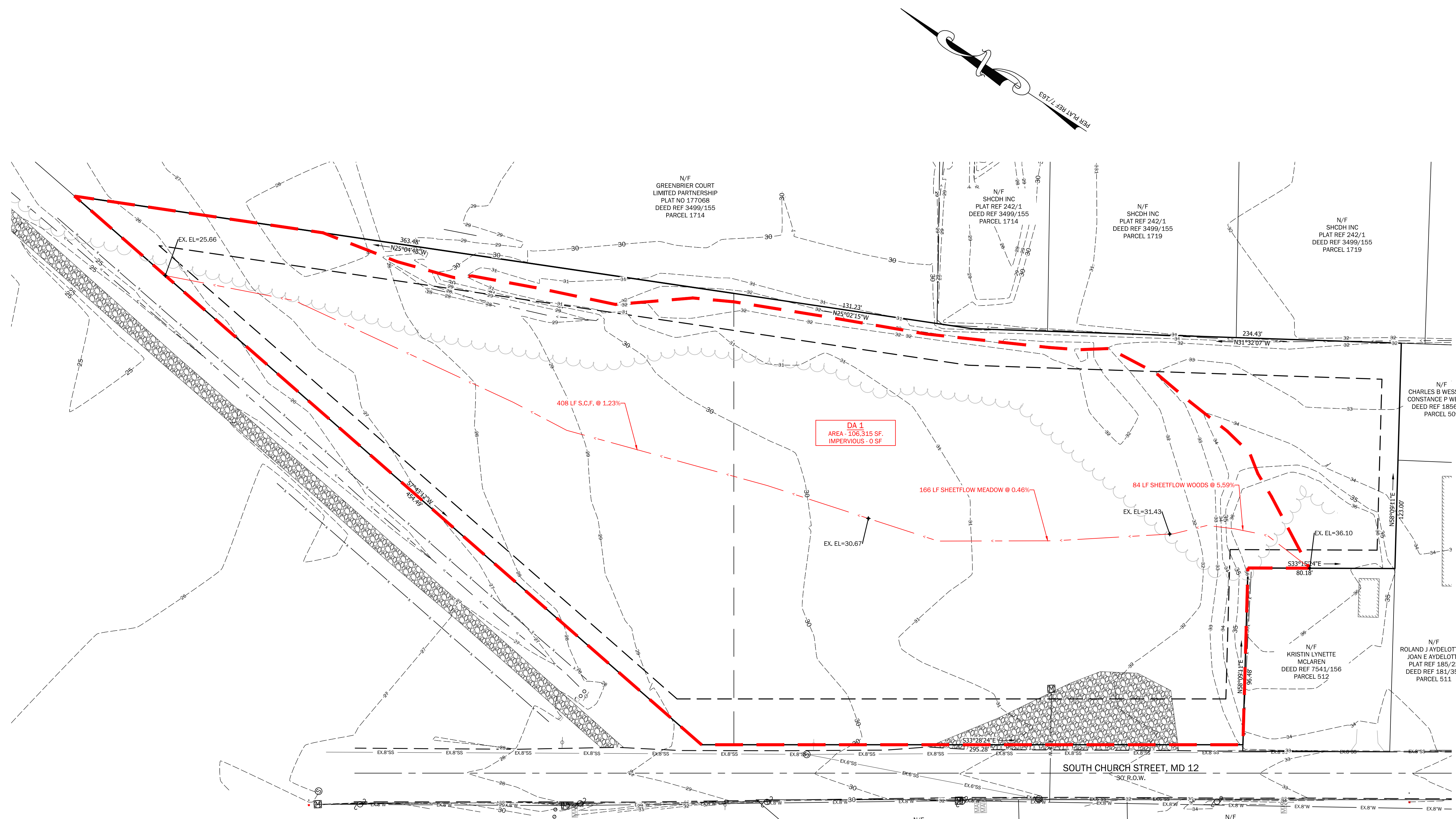
REVISIONS	DATE	BY	CHK.

**LANDSCAPING LIGHTING PLAN**  
**DOLLAR GENERAL**  
Road Name: SOUTH CHURCH STREET  
For: OXFORD CHASE DEVELOPMENT  
SNOWHILL, MARYLAND

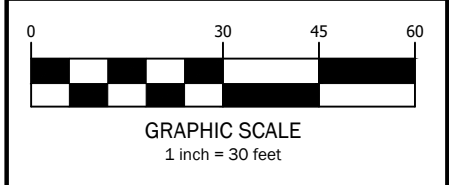
DATE	12/05/23
SCALE	1" = 30'
PROJECT	201
DATE	17/24
PROJECT	513
DATE	17/24
PROJECT	513



Dec 07, 2023 8:44am



DA-1

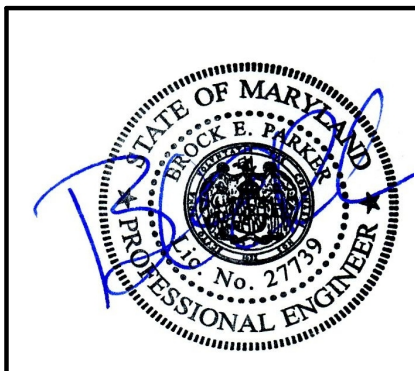
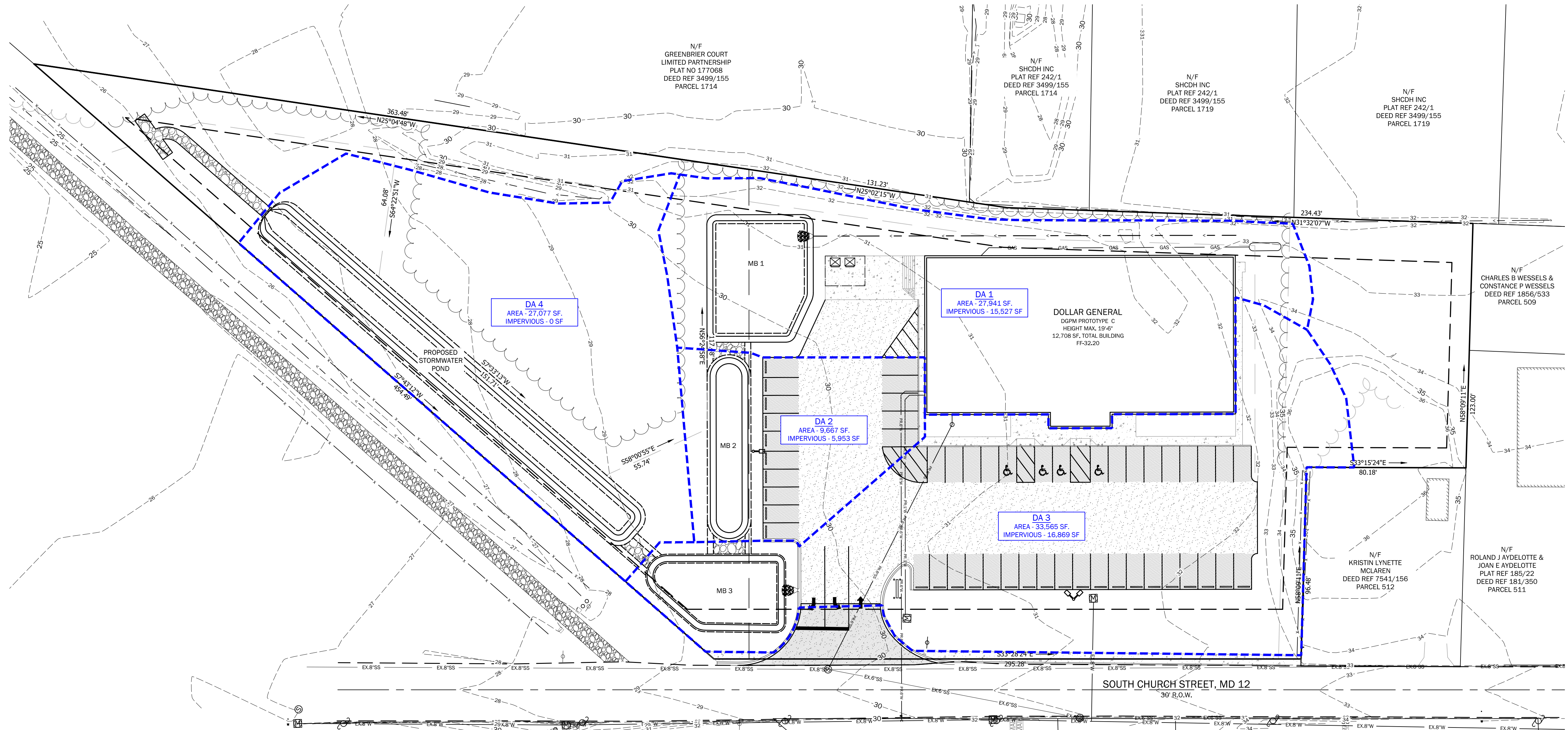
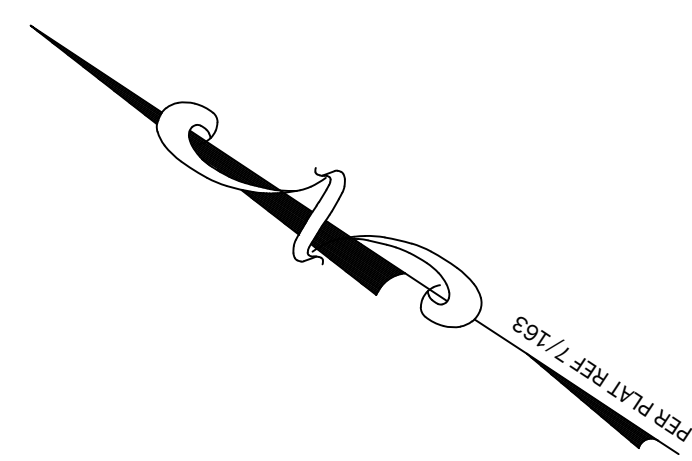


REVISIONS	DATE	BY	CHK	DESC

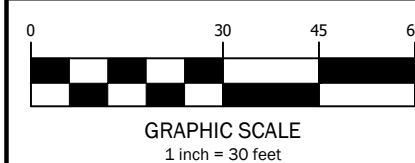
PRE DEV DRAINAGE AREA	DOLLAR GENERAL	Road Name: SOUTH CHURCH STREET For: OXFORD CHASE DEVELOPMENT SNOWHILL, MARYLAND	DATE	12/05/23
			SCALE	1" = 30'
SURVIVING	PARKER & ASSOCIATES	REGISTERED PROFESSIONAL ENGINEER	DATE	12/05/23
			SCALE	1" = 30'
SURVIVING	PARKER & ASSOCIATES	REGISTERED PROFESSIONAL ENGINEER	DATE	12/05/23
			SCALE	1" = 30'
SURVIVING	PARKER & ASSOCIATES	REGISTERED PROFESSIONAL ENGINEER	DATE	12/05/23
			SCALE	1" = 30'
SURVIVING	PARKER & ASSOCIATES	REGISTERED PROFESSIONAL ENGINEER	DATE	12/05/23
			SCALE	1" = 30'



Dec 07, 2023 8:44am



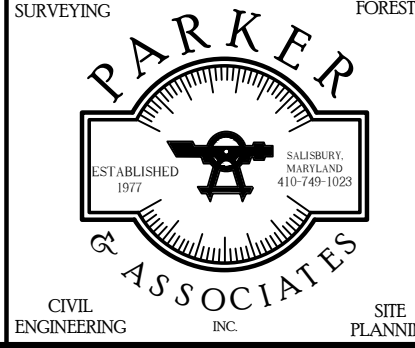
DA-2



REVISIONS	DATE	BY	CHK	POST DEV DA

**POST DEV DRAINAGE AREA**  
**DOLLAR GENERAL**  
 Road Name: SOUTH CHURCH STREET  
 For: OXFORD CHASE DEVELOPMENT  
 SNOWHILL, MARYLAND

SCALE	1" = 30'
DATE	12/05/23
DRAWN BY	WLK
CHECKED BY	WLK
DATE	12/05/23
PROJECT NO.	513
PARCEL	201
TRACER	201
DATE	17.24



Dec 07, 2023 8:44am